



PLANNING COMMISSION  
ADVISORY BOARD

September 2, 2025 – 5:30 p.m.  
City Center

**AGENDA**

- A. CALL TO ORDER AND ROLL CALL
- B. APPROVAL OF THE AGENDA
- C. APPROVAL OF MINUTES
  - 1. June 3, 2025
  - 2. July 1, 2025
- D. NEW BUSINESS
- E. PUBLIC HEARINGS
  - 1. Conditional Use Permit – PID 34.485.0220
  - 2. Preliminary and Final Plat – Blazing Star No. 3
- E. COMMISSIONER COMMUNICATIONS
- F. STAFF COMMUNICATIONS
- G. ADJOURNMENT

*Disclaimer: This agenda has been prepared to provide information regarding an upcoming meeting of the Planning Commission of the City of Albert Lea. This document does not claim to be complete and is subject to change.*

# **MINUTES OF THE ALBERT LEA PLANNING COMMISSION**

Regular Meeting  
June 3, 2025  
5:30 pm – City Center

Chairman Lucas Schuster called the meeting to order at 5:39 p.m.

## **MEMBERS PRESENT**

Leon Axtman  
Rachel Christensen, Ex-Officio  
Matt Dorman  
Lucas Schuster, Chair  
Steve Thompson

## **MEMBERS ABSENT**

Wyeth Anderson, Vice-Chair  
Jared Dawson  
Matt Maras

## **STAFF PRESENT**

Wayne Sorensen, City Building & Zoning Official  
Cierra Maras, Development Services Administrative Assistant

## **APPROVAL OF AGENDA**

Motion by Dorman and second by Axtman to approve the agenda. Motion carried.

## **APPROVAL OF MINUTES**

Motion by Dorman and second by Schuster to approve the May 6, 2025 meeting minutes as presented. Motion carried.

Staff report prepared by Megan Boeck, City Planner, is to become part of these minutes by reference.

## **PUBLIC HEARING**

### **1. 1212 Sykes Street – IUP Renewal**

Sorensen reviewed the staff report. He explained that the existing IUP was approved for 24 months with the option to reapply. He noted that the applicant stated that between one and four people have

utilized the temporary housing units at a time. He added that staff has had no complaints on the property and that police have had zero calls for service as well.

**Schuster opened the hearing to the public at 5:46 p.m.**

Schuster called three times for comment. No one was present to speak.

**Schuster closed the hearing to the public at 5:46 p.m.**

Motion by Dorman and second by Axtman to recommend to City Council approval of the Interim Use Permit at 1212 Sykes Street for an additional 24 months with the same conditions:

1. The property shall adhere to residential noise ordinances.
2. All refuse shall be enclosed in a 3-yard or smaller dumpster container and scheduled for regular pick-up.
3. No outdoor merchandise display or sales are allowed.
4. No outdoor storage of construction equipment or materials including vehicles, trailers, lawn mowers, snow blowers, and other recreational vehicles is allowed on site.
5. The interim use permit shall expire after 24-months from the date of approval with the option to reapply.

Motion passed on a 4-0 voiced vote.

#### **COMMISSIONER COMMUNICATION**

None.

#### **STAFF COMMUNICATION**

Sorensen informed the members that city staff has been working on updating ordinances regarding weeds and tall grass as well as revisions to the ordinance regarding small animals.

#### **ADJOURNMENT**

Motion by Dorman and second by Axtman to adjourn the meeting at 5:49 p.m. Motion carried.

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Cierra Maras, Planning Commission Secretary

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Lucas Schuster, Chairman

# **MINUTES OF THE ALBERT LEA PLANNING COMMISSION**

Regular Meeting

July 1, 2025

5:30 pm – City Center

Chairman Lucas Schuster called the meeting to order at 5:30 p.m.

## **MEMBERS PRESENT**

Wyeth Anderson, Vice-Chair

Leon Axtman

Jared Dawson

Matt Maras

Lucas Schuster, Chair

Steve Thompson

## **MEMBERS ABSENT**

Matt Dorman

Rachel Christensen, Ex-Officio

## **STAFF PRESENT**

Megan Boeck, City Planner

Cierra Maras, Development Services Administrative Assistant

## **APPROVAL OF AGENDA**

Motion by Axtman and second by Thompson to approve the agenda. Motion carried.

## **APPROVAL OF MINUTES**

No minutes were presented.

Staff report prepared by Megan Boeck, City Planner, is to become part of these minutes by reference.

## **PUBLIC HEARINGS**

### **1. Rezoning 310 7<sup>th</sup> Street W (PID 34.059.0110)**

Boeck reviewed the staff report and stated that W&L Holdings LLC d/b/a Andy's Big Units has applied to re-zone 310 7<sup>th</sup> Street West from Community Business (B-2) to Industrial (I-2) in order for the property to continue as a warehousing business. In addition, Boeck stated that the re-zone would alleviate parking issues associated with commercial uses versus industrial uses like paving. Boeck also stated that the purpose of the I-2 Industrial District is to create industrial areas to accommodate a



wide variety of industrial establishments which may operate to their maximum advantage without adversely affecting other nearby uses and activities. Lastly, Boeck stated that the 2040 Comprehensive Plan states that commercial uses are generally retail and service oriented including offices that provide day to day needs, while industrial uses include manufacturing of products, storage, distribution and research and design type facilities.

Maras asked if anyone had complained regarding the application in advance of the meeting.

Boeck stated that she received one phone from a neighbor who was concerned with truck traffic.

**Schuster opened the hearing to the public at 5:34 p.m.**

Mark Haseka stated he has lived in the neighborhood for 54 years and that his main concern is the lack of property maintenance like mowing and the storage of junk vehicles.

Axtman stated that property complaints should be made to the police department as they have staff that deals with nuisance complaints.

Matt Schilling stated that the property owner has changed twice in the last four years and that this rezoning request is a way for the property owners to work around having to follow the rules.

Randy Vanryswyk stated that the property has low ground that collects water and that before additional paving is added the property owner should address the drainage issues.

Thompson stated that drainage issues are addressed during the permitting process and if additional buildings were built the property owner would have to provide adequate stormwater retention.

Schuster thanked the public for their comments.

**Schuster closed the hearing to the public at 6:15 p.m.**

Maras stated that the biggest issue seems to be the condition of the property which the Planning Commission cannot do much about and that a re-zone is not going to change that.

Motion by Axtman and second by Schuster to deny the application to re-zone 310 7<sup>th</sup> Street W.

Motion passed on a 5-1 voiced vote. Thompson voted nay.

**COMMISSIONER COMMUNICATION**

None.

**STAFF COMMUNICATION**

Boeck reminded the Planning Commission that the next meeting would be in September.

**ADJOURNMENT**

Motion by Axtman and second by Maras to adjourn the meeting at 6:23 p.m. Motion carried.

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Cierra Maras, Planning Commission Secretary

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Lucas Schuster, Chairman

## GENERAL INFORMATION

Applicant: Albert Lea Family Housing

Property Owner: City of Albert Lea

Purpose: Conditional Use Permit (CUP) for a 60-unit multifamily housing development

Address: 105 Garfield Avenue

Parcel Number(s): 34.485.0220

File Date/Publication Date: July 21, 2025 / August 23, 2025

Subject Site:

Existing Land Use	Zoning
Vacant	PD

Adjacent Land Use and Zoning:

Existing Uses	Zoning
North Vacant	PD
South Vacant	PD
East Warehousing	I-1
West Vacant	PD



## **BACKGROUND**

Albert Lea Family Housing has applied for a Conditional Use Permit (CUP) to develop a three-acre property at 105 Garfield Avenue, known locally as the Blazing Star Landing. Phase one of the proposed project includes 61-units of affordable multifamily housing (three stories), 92 surface parking stalls, and two accessory structures. The project is currently dependent on a successful MHFA grant award which will not be formally determined until the site is remediated. The grant application also requires proper zoning approvals which is why this application has been submitted before sale or closing on the property. With a successful grant award, closing could take place by March of 2026 and construction beginning shortly thereafter. Earlier this summer, the City of Albert Lea submitted a MN DEED Public Infrastructure Grant and a Redevelopment Grant to help pay for costs associated with stabilizing unstable soils, infrastructure improvements including stormwater ponding and public streets and sidewalks.

## **POLICY CONSIDERATIONS**

### **Zoning 50.0619. – Uses generally. (PD – Planned Development District)**

All uses within the PD planned development district shall be conditional uses and include, but are not limited to, the following:

- (1) Multiple dwelling units

### **Zoning 50.0618. – General requirements. (PD – Planned Development District)**

General requirements for PD planned development district are as follows:

- (a) **Ownership.** The applicant has acquired actual ownership or executed a sales contract.  
The City of Albert Lea executed a purchase and sale agreement for this parcel on July 10, 2023.
- (b) **Minimum size.** No planned development may include less than three (3) acres of contiguous land.  
The property is just over three acres.
- (c) **Maximum development intensity.** No more than fifty (50) percent of the net land area of the subject tract may be developed (covered) with principal and accessory buildings.  
The property is three acres or 130,680 ft<sup>2</sup>. The proposed structures total 31,065 ft<sup>2</sup> or 24% of the total net land area.
- (d) **Comprehensive plan.** The development should be planned so that it is consistent with the comprehensive plan for the community.  
The 2040 Comprehensive Plan identifies the property in question as mixed use (page 31) of which the purpose is to allow a mix of residential and commercial uses generally located at key intersections and corridors. This allows for higher densities of residential uses (greater than 15 units per acre) and commercial uses such as restaurants, offices, and retail services.
- (e) **Harmony.** The planned development should be planned and developed to harmonize with any existing or imminent development in the area surrounding the project site.  
The proposed multifamily redevelopment is in harmony with the surrounding area. Other multifamily structures such as Unique Apartments and Trailside Apartments are within close proximity.
- (f) **Open space.** A minimum of twenty (20) percent of the total land area shall be development for open air and useable landscaped open spaces which shall be made an integral part of the plan. Such space should be effectively separated from automobile traffic and parking and readily accessible. The term “open space” does not include space devoted to streets and parking.  
The attached site plan indicates that about 38,020 ft<sup>2</sup> is open space, while only 26,136 ft<sup>2</sup> would have been required.

- (g) **Density.** For a planned development district, within which residential uses are proposed, a maximum increase in density of fifty (50) percent of the permitted density of the residential zoning district existing on the site may be allowed.

This code would apply to sites that were originally residential in nature and does not apply to this application as the property has been vacant many years and the previous use of this property was commercial business.

## ANALYSIS

### **Zoning Sec. 50.0622. – Preliminary development plan approval.**

Section (d) states that the Planning Commission shall base its findings on the following:

- (1) **The plan is consistent with the objectives of planned developments.**

The purpose of the Planned Development District as stated in Sec. 50.0617. – Purpose. (3) is to stimulate opportunities for better housing and recreation.

- (2) **The relationship, beneficial or adverse, of the proposed planned development to the area in which it is proposed to be developed.**

Developments where retail or service businesses are located within close proximity to residential housing are known to increase economic vitality by strengthening the tax base, job market, and business opportunities. This development will work to provide affordable living opportunities conveniently located within walking distance to Albert Lea Aquatic Center, Frank Hall Park, Kwik Trip, and Albert Lea's Historic Downtown.

- (3) **The proposed distribution of buildings, street, and open space will permit better site planning and thus benefit both the residents or users of the development and the community as a whole.**

The property is situated near two main thoroughfares – Broadway and East Main Street, which will provide residents with proper access to public transportation needs. In addition, the property is directly tied into the City's sidewalk and trail system with walking and biking access to the downtown district and other areas of park and recreation.

- (4) **Such distribution or location will not unduly increase the bulk of buildings, density of population or employment, or intensity of use to the detriment of areas outside the development by restricting access to light and air or by creating traffic congestion.**

The property in question is part of a larger 33-acre property that was once home to a large meat packing plant. At one point, nearly 400 people accessed this site each day for employment. Although vacant for a number of years, the property is well situated to handle the bulk of any development. The density or population will increase with the proposed use providing housing but not to the scale in which it will cause a detriment to the area. Additionally, the vitality of the nearby downtown district is dependent upon support from nearby households and residents supporting its businesses. Knowing this, the future land use plan has designated this area as mixed-use to allow for a combination of residential and commercial uses. The plan identifies areas where increased residential development is compatible with the existing and expected future commercial growth – the goal of which is to bring more residents closer to the conveniences and desired destinations of the downtown district.

## FINDINGS OF FACT

1. The application is consistent with the 2040 Comprehensive Plan.
2. The proposed development meets the conditions of Planned Development District related to density, size, open space and greenspace.

3. The proposed development significantly reduces unnecessary impervious surfaces and adds green space.
4. The proposed development is compatible with the surrounding uses and will not negatively impact the public health, safety, and welfare of the surrounding area.

### **STAFF RECOMMENDATION**

Staff recommends approval of the proposed Conditional Use Permit with the following conditions:

1. Proper maintenance of greenspace and paved parking areas.
2. Exterior gated trash enclosures are required and shall be designed with like building materials. Trash enclosures shall be adequate in height, not less than 6 feet, to screen trash containers and materials.
3. No parking or storage of any unlicensed and/or inoperable vehicles.

### **ATTACHMENTS**



1. Rendering of exterior
2. Landscape plan
3. Site plan

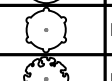
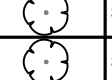
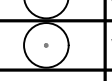

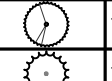

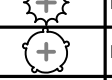

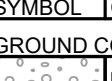
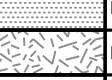
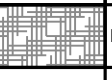











Printed: 08/21/2025 11:18 AM W:\2025\202021\CADD\DATA\LANDSCAPE.dwg Sheet File: L1-1 LANDSCAPE PLAN

PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
DECIDUOUS TREES						
	AC-S	8	ACER FREEMANI 'SIENNA GLEN'	SIENNA GLEN MAPLE	B & B	2.5' CAL
	AC-N	1	ACER RUBRUM 'NORTHWOOD'	NORTHWOOD MAPLE	B & B	2.5' CAL
	BE-N	2	BETULA NIGRA CLUMP	RIVER BIRCH	B & B	6' HGT / CLUMP FORM
	GL-S	3	GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST	B & B	2.5' CAL
	QO	2	QUERCUS ROBUR X QUERCUS ALBA 'CRIMSCHMIDT'	CRIMSON SPIRE OAK	2.0' CAL	B&B
	UL-V	2	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE ELM	B & B	2.5' CAL
	18		SUBTOTAL			
EVERGREEN TREES						
	PL-G	3	PICEA DAVIDA 'DENBATA' FULL FORM	BLACK HILLS SPRUCE	B & B	6' HGT
	PL-A	5	PINUS ALBA	WHITE PINE	B & B	6' HGT
	8		SUBTOTAL			
ORNAMENTAL TREES						
	MA-S	4	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	B & B	2' CAL
	SY-R	8	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B	2' CAL
	12		SUBTOTAL			

PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
DECIDUOUS TREES						
	CO-F	6	CORNUS SERICEA 'ARTIC FIRE'	ARCTIC FIRE DOGWOOD	5 GAL	24" HGT
	HY-L	8	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL HYDRANGEA	5 GAL	24" HGT
	RI-G	20	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	5 GAL	24" HGT
	SP-N	18	SPIREA NIPPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	5 GAL	24" HGT
	SP-B	6	SPIREA X BETULIFOLIA 'TOR'	BIRCHLEAF SPIREA	5 GAL	24" HGT
	SY-P	32	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	5 GAL	24" HGT
	VI-T	13	VIBURNUM TRILOBUM 'BAILEY COMPACT'	COMPACT AMERICAN VIBURNUM	5 GAL	24" HGT
	103		SUBTOTAL			
CONIFEROUS SHRUBS						
	JU-C	24	JUNIPERUS CHINENSIS 'MONLEP'	MINT JULEP JUNIPER	5 GAL	18" SPRD
	MD	8	JUNIPERUS SCOPULORUM 'MEDORA' FULL FORM	MEDORA JUNIPER	15 GAL	4' HGT
	TA-C	1	TAXUS CURSPDATA 'CAPTATA'	UPRIGHT JAPANESE YEW	10 GAL	36" HGT
	TA-T	7	TAXUS X MEDIA 'TAUNTON'	TAUNTON YEW	5 GAL	18" SPRD
	40		SUBTOTAL			
PERENNIALS						
	HE-B	30	HEMEROCALLIS X 'BAJA'	BAJA DAYLILY	1 GAL	
	HE-D	28	HEMEROCALLIS X 'STELLA DE ORO'	STELLA D' ORO DAYLILY	1 GAL	
	HO-P	11	HOSTA X 'PATRIOT'	PATRIOT HOSTA	1 GAL	
	69		SUBTOTAL			
GRASSES						
	CA-K	45	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	
	89		SUBTOTAL			
GROUND COVERS						
	RM-1	239 SF		ROCK MULCH-TYPE 1		
	HM-2	2,472 SF		TUMBLER WOOD CHIPS		
	HM-1	4,724 SF		SEE PLANTING DETAILS - COLOR: COCOA BROWN		
	TS-2	38,089 SF		HYDROSEED TURF SEED		
	DS-M	30,752 SF		NATIVE GRASS SEED MIXTURE (W-14, W-15, W-16) BRASH		
	76,276 SF			MULCH STRAW		
				SUBTOTAL		

## LANDSCAPE REQUIREMENTS

- LANDSCAPE AREA: NOT LESS THAN 20% OF THE SITE SHALL BE LANDSCAPED.

SITE AREA:	3.16 ACRES
MIN. REQUIRED LANDSCAPE AREA:	0.63 ACRES (20%)
PROPOSED LANDSCAPE AREA:	1.53 ACRES (48.4%)

- LANDSCAPE AREA FOR MATERIALS: (CALCULATION ARE FOR AREA WITHIN PROPERTY LINE ONLY)

REQUIRED: >75% LIVE MATERIALS	1.15 ACRES
PROPOSED: 93% LIVE MATERIALS	1.43 ACRES
REQUIRED: <25% INERT MATERIALS	0.38 ACRES
PROPOSED: 7% INERT MATERIALS	0.11 ACRES

## GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND / OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS / GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES. CONTRACTOR TO PROVIDE THE NECESSARY PROTECTION FOR THE UTILITIES BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS. CONTRACTOR TO NOTIFY GENERAL CONTRACTOR OF ANY CONCERNS PRIOR TO INSTALLATION OF PLANTINGS.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB / GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND / OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.



CALL BEFORE YOU DIG!

Gopher State One Call

TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

CAUTION

THE DRAWN LOCATIONS OF FEATURES (STRUCTURES, IMPROVEMENTS, UTILITIES, ETC.) IN THIS DIGITAL DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THE POSITION OF THESE FEATURES MUST BE VERIFIED AGAINST TRUE BOUNDARY LINES, SETBACKS, PLAN DIMENSIONS, ARCHITECTURAL PLANS, ETC. BEFORE USE FOR CONSTRUCTION.

ALBERT LEA  
AFFORDABLE  
FAMILY  
APARTMENTS

ALBERT LEA, MN

TAPESTRY  
COMPANIES

2001 KILBREW DR. #100  
BLOOMINGTON, MN 55425

LOUCKS

PLANNING  
CIVIL ENGINEERING  
LAND SURVEYING  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763.424.5505  
www.loucksinc.com

## CADD QUALIFICATION

CADD files prepared by the Consultant for this project are prepared by the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made in the full file of the project and not in separate additions or deletions and the user shall retain and identify the Consultant from any & all responsibilities, claims, and liabilities.

## SUBMITTAL/REVISIONS

07/18/25	CHECK SET
08/08/25	75% CD SET
08/21/25	CHECK SET

## PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect in the State of Minnesota.

Loucks Project No. 25021.00  
Project Lead DD  
Drawn By DD  
Checked By DD  
Review Date 08/21/25

## QUALITY CONTROL

Loucks Project No. 25021.00  
Project Lead DD  
Drawn By DD  
Checked By DD  
Review Date 08/21/25

## SHEET INDEX

L1-1 LANDSCAPE PLAN  
L1-2 LANDSCAPE DETAILS

LANDSCAPE  
PLAN

L1-1
















































## INDEX TO SHEETS

THIS PLAN CONTAINS 11 SHEETS



## LEGEND

	= 5/8"Ø X 16" iron stake monument		= Sign
	=Iron stake monument-Found		= Sign-Handicap
	= Water Main		= Light Pole
	= Sanitary Sewer		= Power Pole
	= Storm Sewer		= Guy Anchor
	= Gas Main		= Fire hydrant
	= Underground Telephone		= Water Main Valve
	= Overhead Telephone		= Fire Sprinkler
	= Fiber-Optics		= Cleanout
	= Underground Electric		= Culvert
	= Overhead Electric		= Gas Main Valve
	= Chain Link Fence		= Catch Basin
	= Control Access		= Manholes
	= Gate Post		= Spot Elevation
	= Bollards		= Rim Elevation
	= Electric Meter		= Line Elevation
	= Gas Meter		= Concrete Surface
	= Fiber-Optics Box		= Bituminous Surface
	= Telephone Pedestal		= Gravel Surface
	= Light Tower		= Proposed Pavement Elevation
	= Silt Fence		= Proposed Top/Bottom of Retaining Wall Elevation
	= Furnish & Install		
	= Existing Elevation Contour Line		
	= Proposed Elevation Contour Line		

APPLICABLE CONSTRUCTION PERMITS

ALL CONSTRUCTION WITHIN COUNTY RIGHT-OF-WAY  
SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE  
PERMIT AS ISSUED BY THE COUNTY HIGHWAY DEPT.

GENERAL NOTES

DEVELOPER, CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES GOVERNED BY STATE AND LOCAL JURISDICTION.

SITE IRRIGATING, LIGHTING, LANDSCAPING, SIGNING ARE NOT A PART OF THIS PLAN.

PROVIDE EROSION CONTROL PER NPDES PERMIT REQUIREMENTS AND AS SHOWN.

PROVIDE HANDICAP CURB RAMPS & SIGNAGE. COMPLY WITH ALL AMERICAN DISABILITY ACT REQUIREMENTS.

ALL CONCRETE OR ASPHALTIC PAVEMENT CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF MN/DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

A ROCK CONSTRUCTION ENTRANCE IS REQUIRED AT ALL ENTRANCES FROM BITUMINOUS PAVEMENT.

ACCESS FOR LOCAL RESIDENTS/BUSINESSES SHALL ALWAYS BE MAINTAINED.

PROVIDE PAVEMENT STRIPING AS SHOWN

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION.

SEE BOUNDARY SURVEY BY OTHERS FOR SITE BOUNDARIES.

ANY ALTERATIONS OR REVISIONS TO THE SITE DEVELOPMENT PLAN AS SHOWN SHALL NOT BE THE RESPONSIBILITY OF JONES, HAUGH & SMITH INC. AND SHALL RELEASE JONES, HAUGH & SMITH INC. OF ANY LIABILITY FOR ANY DAMAGES CAUSED THEREFROM UNLESS WRITTEN AUTHORIZATION OR PLAN REVISION HAS BE APPROVED BY JONES, HAUGH & SMITH INC. PRIOR.

## BENCHMARK 1

TOP NUT OF FIRE HYDRANT AT EBERHART  
STREET & GARFIELD AVE-ELEV.=1238.05

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

Brian J. Johnson  
Req. No. 42744

 **Engineers + Surveyors**  
515 South Washington Ave. Albert Lea, MN 507-373-4876



JONES  
HAUGHTON  
SMITH

# TAPESTRY FAMILY APARTMENTS

25-058	Date: 4/10/2025
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C <b>bjj</b>	Checked:
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Project Manager:

Title:

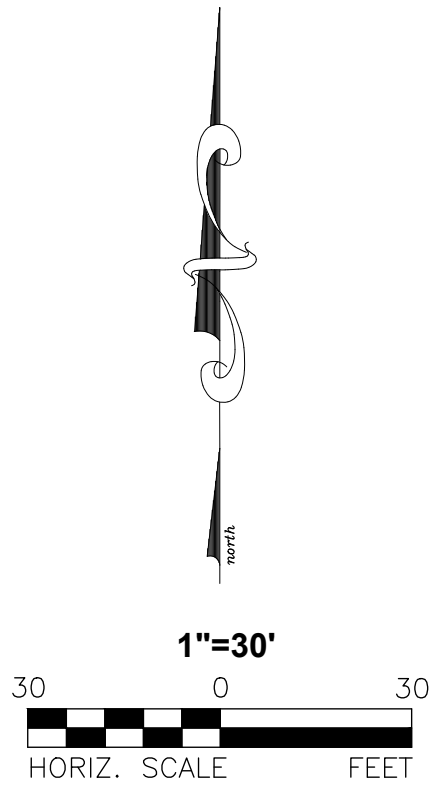
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No.:

# C1

**BID SET**





Project:

Revision:

No.: 25-058 Date: 4/10/2025

Drawn: bj Checked:

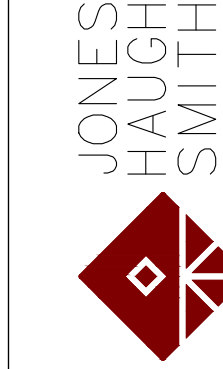
Project Manager:

Project Status:

Sheet Title:

EXISTING CONDITIONS

Sheet No.:



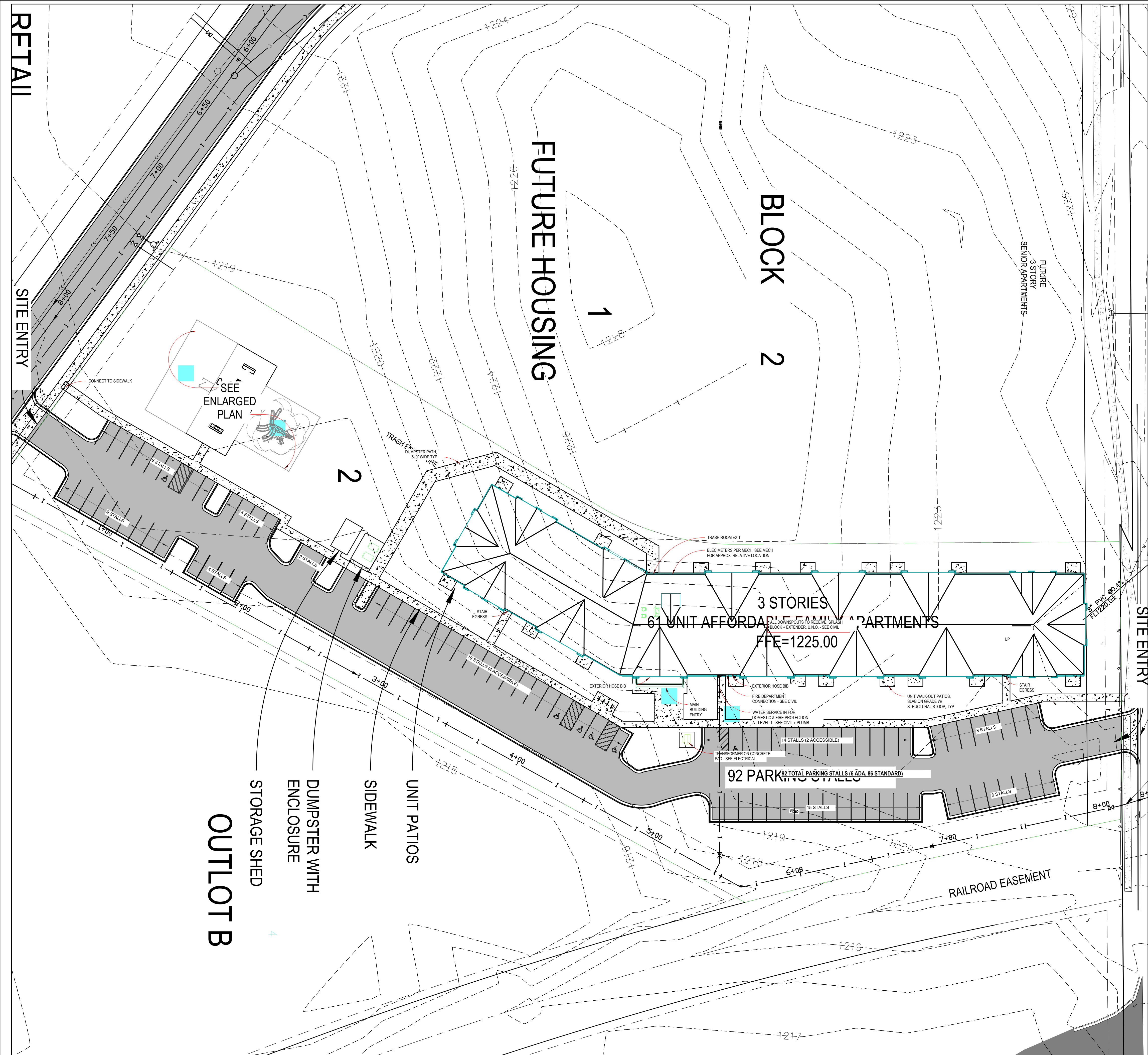
JONES  
HAUGH  
SMITH  
Engineers+Surveyors  
515 South Washington Ave. Albert Lea, MN 56007 373-4876

Consultant:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Brian J. Johnson  
Reg. No. 42744 Date: 2/10/25



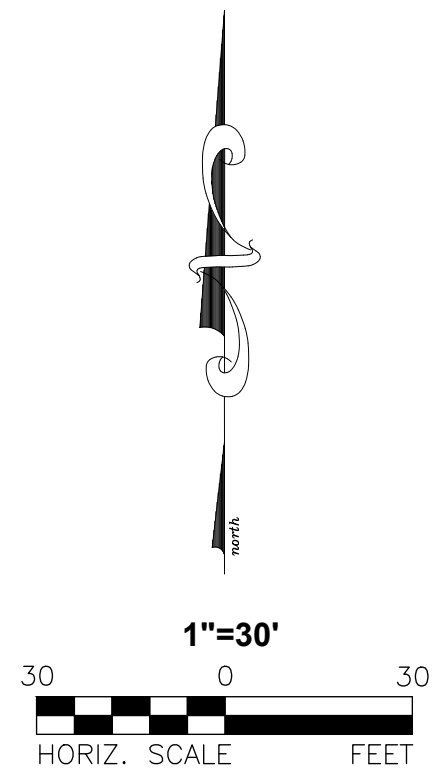


REMOVE EXISTING BITUMINOUS PAVEMENT AS REQUIRED FOR SANITARY SEWER SERVICE. SAWCUT ALL MATCH POINTS & PATCH WITH MATCHING PAVEMENT SECTION. SEE TRAFFIC CONTROL PLAN FOR ROAD CLOSURE DETAILS.

- LEGEND**
- =Existing Bituminous Surface
  - =Proposed Bituminous Surface
  - =Existing Concrete Surface
  - =Proposed Concrete Surface
  - =Proposed Gravel Surface

REMOVE EXISTING CURB & GUTTER AS REQUIRED FOR NEW DRIVEWAY TYP.

REMOVE EXISTING BITUMINOUS PAVEMENT AS REQUIRED FOR SERVICE. SAWCUT ALL MATCH POINTS & PATCH WITH MATCHING PAVEMENT SECTION. SEE TRAFFIC CONTROL PLAN FOR ROAD CLOSURE DETAILS.



Consultant:

**JONES HAUGH SMITH**  
Engineers & Surveyors  
515 South Washington Ave. Albert Lea, MN 56701  
Reg. No. 62714 Date: 2/10/25

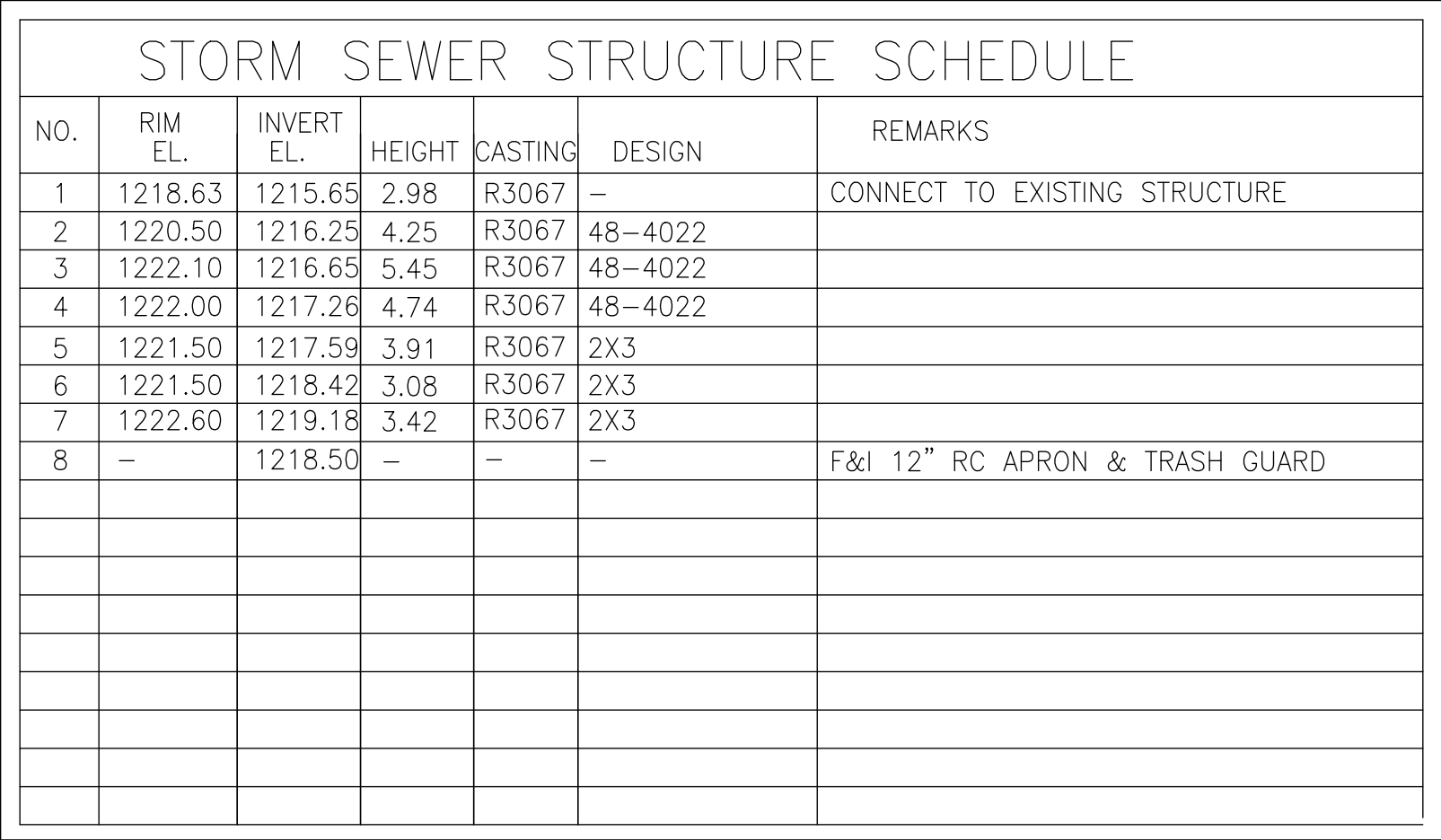
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**TAPESTRY FAMILY APARTMENTS**

Revision:

No.: 25-058	Date: 4/10/2025
Drawn: bjj	Checked:
Project Manager:	
Project Status:	
Sheet Title:	
<b>REMOVAL/HARDSCAPE PLAN</b>	
Sheet No.: <b>C3</b>	





THOSE DOWNSPOUTS CALLED OUT ON ARCHITECTURAL ROOF PLAN  
PLUMBING SPECIFICATIONS

1. All plumbing shall be installed in accordance with the Minnesota Plumbing Code (see Minnesota Rules, Chapter 4714).
2. The water distribution system shall be disinfected per Minnesota Rules.
3. A sanitary sewer cleanout will be provided near the connection between the building drain and the building sewer.
4. PVC sanitary sewers will meet one of the following ASTM Standards: D3034, F789, D2665, or F891. ASTM D2241 pipe may be used for sewers 6 inch and larger. The installation will comply with ASTM D2321, which requires installation by open trench on a continuous granular bed.
5. PVC solvent weld joints will include a primer of contrasting color to the pipe and cement.
6. RCP storm sewers must comply with ASTM C76.
7. All joints and connections in the storm sewer system shall be gastight or watertight. Approved resilient rubber joints must be used to make watertight connections to manholes, catchbasins, and other structures. Cement mortar joints are permitted only for repairs and connections of existing lines constructed with such joints.
8. Polyethylene (PE) water services must meet ASTM D2239 or D2737 installed per ASTM D2774. Joints must use approved insert fittings with metal clamps. No more than two feet may be exposed within the building.
9. The bottom of the water service pipe located within ten feet of the sewer crossing must be at least 12 inches above the top of the sewer. When this is not feasible, the sewer pipe must be constructed of materials listed in the Minnesota Rules. The water service should not contain any joints or connections within 10 feet of the crossing.
10. All portions of the storm sewer system located within 10 feet of the building or water service line must be tested in accordance with Minnesota Rules.






F&I 8" PVC SDR 35 SANITARY SEWER SERVICE TO BUILDING FROM MAIN IN STREET.

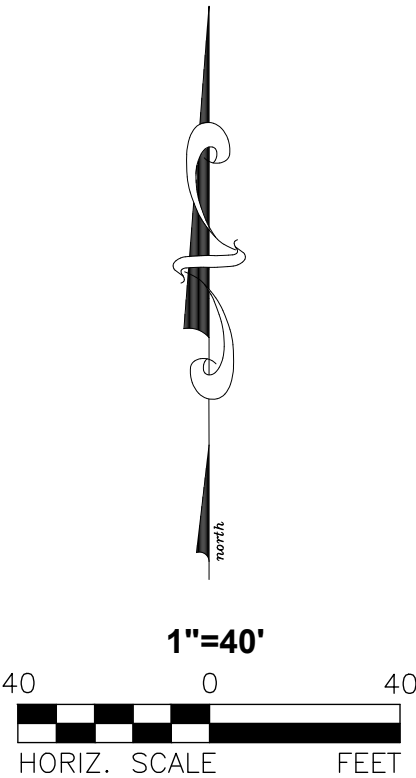
F&I STORM SEWER & STRUCTURES AS SHOWN-SEE STORM STRUCTURE SCHEDULE FOR MORE INFORMATION.

F&I 8" GATE VALVE & 8" PVC C-900 WATERMAIN TO BUILDING

F&I 8" PVC C-900 WATERMAIN THROUGH EASEMENT AREA WITHIN SITE. CONNECT TO EXISTING WATERMAIN IN GARFIELD AVENUE.

**LEGEND**

-  =Existing Bituminous Surface
-  =Proposed Bituminous Surface
-  =Existing Concrete Surface
-  =Proposed Concrete Surface
-  =Proposed Gravel Surface









SWPPP NARRATIVE

CONSTRUCTION ACTIVITY INFORMATION

PROJECT NAME: TAPESTRY INC.  
FACILITY IMPROVEMENT PROJECT

PROJECT LOCATION: ALBERT LEA, MN

PROJECT SIZE: 3 DISTURBED ACRES

PROJECT TYPE: RESIDENTIAL APARTMENT BUILDING CONSTRUCTION

MAJOR SOIL TYPE: SANDY CLAY

CUMULATIVE IMPERVIOUS SUFACE:  
EXISTING ~ 180 ACRES  
POST CONSTRUCTION ~ 1.8 ACRES

DIRECT DISCHARGE FROM IMPERVIOUS SURFACE: 1.8 ACRES

RECEIVING WATERS:  
CITY STORM TO REGIONAL POND

DATES OF CONSTRUCTION: 2026

OWNER: TAPESTRY INC.

UNDERGROUND UTILITY/GRADING CONTRACTOR:

PARTY RESPONSIBLE FOR LONG TERM O&M:  
OWNER: TAPESTRY INC.

GENERAL SITE INFORMATION

IMMEDIATELY FOLLOWING GRADING OF SLOPES OF 3:1 OR GREATER, SLOPES MUST BE STABILIZED WITH WOOD FIBER BLANKET (OR OTHER METHOD APPROVED BY THE ENGINEER) OVER APPROVED SEED MIXTURE AND A MINIMUM OF 4" OF TOPSOIL.

ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITION UNTIL THE SITE HAS BEEN RE-VEGETATED, AT WHICH TIME THE CONTRACTOR MAY REMOVE NECESSARY SILT FENCING TO CONSTRUCT ROADWAYS WHILE MAINTAINING ADEQUATE EROSION CONTROL IN ADJACENT AREAS. SUFFICIENT TOPSOIL SHALL BE STOCKPILED OR IMPORTED TO ALLOW FOR THE REPLACEMENT OF A MINIMUM OF 4" OF TOPSOIL FOR DISTURBED AREAS TO BE RE-VEGETATED.

CONTRACTOR SHALL SCHEDULE SITE GRADING, UTILITY INSTALLATION, AND ROADWAY CONSTRUCTION SO THAT THE GENERAL SITE CAN BE MULCHED AND RE-SEEDED SOON AFTER DISTURBANCE. DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODDED WITHIN:  
7 DAYS

INSPECT SILT FENCES AND BALE CHECKS AFTER EACH RAIN EVENT AND DAILY DURING A PROLONGED RAINFALL. IMMEDIATELY REPAIR FAILED OR FAILING MEASURES.

REMOVE SEDIMENT DEPOSITS FROM SILT FENCE AND BALE CHECKS WHEN SEDIMENT REACHES APPROXIMATELY 1/3 THE HEIGHT OF THE BARRIER.

BARRIERS WILL BE REPLACED WHEN THEY DECOMPOSE OR BECOME INEFFECTIVE BEFORE THE BARRIERS ARE NO LONGER NECESSARY. ANY SEDIMENT REMAINING IN-PLACE AFTER THE BARRIERS ARE NO LONGER NECESSARY WILL BE DRESSED TO CONFORM TO EXISTING GRADE, AND PREPARED AND SEEDED WITH THE APPROPRIATE SEED MIX AS DIRECTED BY THE ENGINEER.

IN THOSE AREAS WHERE WOOD FIBER BLANKET OR OTHER SLOPE STABILIZATION METHODS HAVE FAILED, THE SLOPE SHALL BE RE-ESTABLISHED, SEED AND TOPSOIL REPLACED, AND ADDITIONAL SLOPE TREATMENT INSTALLED.

BARRIERS WILL BE REMOVED WHEN FINAL STABILIZATION OF THE SLOPES HAS BEEN COMPLETED AS DETERMINED BY THE ENGINEER.

NO STORMWATER MITIGATION MEASURES WERE REQUIRED AS A PART OF ENVIRONMENTAL, ARCHAEOLOGICAL OR OTHER REQUIRED LOCAL, STATE, OR FEDERAL REVIEW OF THIS PROJECT.

THIS PROJECT IS NOT LOCATED IN A KARST AREA NECESSITATING MEASURES TO PROTECT DRINKING WATER SUPPLY.

THIS PROJECT DOES NOT DISCHARGE WATER TO AN IMPAIRED WATER.

PROVIDE SILT FENCE AROUND ALL SOIL STOCKPILES

SWPPP IMPLEMENTATION CHAIN OF RESPONSIBILITY

EACH CONTRACTOR ON-SITE WILL DESIGNATE AN EMPLOYEE AS ITS PROJECT SWPPP OFFICER. A LIST OF THESE OFFICERS WITH CONTACT INFORMATION WILL BE AVAILABLE ON-SITE. IT WILL BE SOLELY THE SWPPP OFFICERS' RESPONSIBILITY TO ENSURE THAT ALL ON-SITE ACTIVITIES PERFORMED BY ITS COMPANY COMPLY WITH THE SWPPP. THE GENERAL CONTRACTOR'S SWPPP OFFICER WILL HAVE AUTHORITY OVER ALL SUB-CONTRACTOR'S SWPPP OFFICERS FOR WORK PERTAINING TO COMPLIANCE.

SHOULD A SWPPP OFFICER FAIL TO ENSURE COMPLIANCE, THAT OFFICER'S FOREMAN OR DIRECT SUPERVISOR WILL ASSUME ALL RESPONSIBILITY.

SHOULD A SUB-CONTRACTOR FAIL TO COMPLY WITH THE SWPPP, THE GENERAL CONTRACTOR WILL ASSUME ALL RESPONSIBILITY FOR COMPLIANCE.

SHOULD THE GENERAL CONTRACTOR FAIL TO COMPLY WITH THE SWPPP, THE OWNER WILL ASSUME ALL RESPONSIBILITY FOR COMPLIANCE.

EROSION PREVENTION PRACTICES

CONTRACTOR SHALL PHASE CONSTRUCTION, MAINTAIN VEGETATIVE BUFFER STRIPS, AND PROVIDE HORIZONTAL SLOPE STAKING IN ORDER TO MINIMIZE EROSION.

SILT FENCE SHALL BE INSTALLED BEFORE WORK BEGINS. SILT FENCE LIMITS SHALL COINCIDE WITH DOWNGRADE GRADING LIMITS UNLESS OTHERWISE NOTED.

THIS PROJECT DOES NOT HAVE EXPOSED POSITIVE SLOPES WITHIN 200' OF SURFACE WATER.

THE WETTED PERIMETER OF DRAINAGE SWALES WILL BE STABILIZED WITH WOOD FIBER BLANKETS AND/OR DITCH CHECKS WITHIN 200' OF THE SITE BOUNDARY LINE OR WETTED PERIMETER OF DITCHES WITHIN 24 HOURS.

TEMPORARY PERMANENT DITCHES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION MUST BE STABILIZED WITHIN 24 HOURS AFTER NON-USE

PIPE OUTLETS MUST HAVE ENERGY DISSIPATION IN PLACE WITHIN 24 HOURS OF INSTALLATION. MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE EROSION PREVENT PRACTICES CANNOT BE USED WITHIN THE NORMAL WETTED PERIMETER OF OF DRAINAGE DITCHES OR SWALE SECTIONS WITH A CONTINUOUS SLOPE GREATER THAN 2X

SEDIMENT CONTROL PRACTICES

CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN SEDIMENT CONTROLS FOR TEMPORARY AND PERMANENT DRAINAGE BASINS AND DRAINAGE DITCHES THAT ARE A PART OF THIS DESIGN

CHECK DAMS AND/OR WOOD FIBER BLANKETS TO ENSURE SHEET FLOW AND PREVENT RILLS FOR SLOPE LENGTHS GREATER THAN 75' WITH A SLOPE OF 3:1 OR GREATER

SILT FENCE AT ALL DOWN GRADIENT PERIMETERS INSTALLED PRIOR TO ALL LAND DISTURBING ACTIVITIES

INLET PROTECTION AT ALL DRAIN INLETS

SILT FENCING AROUND TEMPORARY SOIL STOCKPILES

ROCK CONSTRUCTION SITE ENTRANCES

STREET SWEEPING OF TRACKED SEDIMENT ONTO PAVED SURFACES

SEDIMENT CONTROL PRACTICES MUST BE IN PLACE AT ALL DOWN GRADIENT PERIMETERS AND UPGRADIENT OF ANY BUFFER ZONES. SEDIMENT CONTROL PRACTICES ARE ESTABLISHED AT THE BASE OF STOCKPILES ON DOWN GRADIENT PERIMETER

STOCKPILES ARE LOCATED OUTSIDE OF NATURAL BUFFERS OR SURFACE WATER, INCLUDING STORM WATER CONVEYANCES UNLESS THERE IS A BYPASS. THIS PROJECT DOES NOT INCLUDE DEWATERING OR BASIN DRAINING. PERMANENT SEDIMENT BASINS WILL BE USED AS TEMPORARY BASINS DURING CONSTRUCTION

ADDITIONAL BMP'S FOR SPECIAL WATERS

THIS PROJECT DOES NOT DISCHARGE TO SPECIAL WATERS OR HAVE SIGNIFICANT IMPACTS TO WETLANDS

INSPECTIONS AND MAINTAINANCE

CONTRACTOR SHALL INSPECT AND MAINTAIN MEASURES AT MINIMUM ONCE EVERY (7) DAYS DURING ACTIVE CONSTRUCTION, AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5" IN 24 HOURS.

INSPECTIONS WILL INCLUDE STABILIZED AREAS, EROSION PREVENTION AND SEDIMENT CONTROLS, AND INFILTRATION AREAS. REFER TO MPCA COMPLIANCE GUIDE FOR EROSION AND SEDIMENT CONTROL FOR INSPECTION LOG REQUIREMENTS.

MAINTENANCE RECORDS SHOULD INCLUDE: DATES & TIMES IF INSPECTION, NAME OF PERSON CONDUCTING THE INSPECTION, FINDINGS & LOCATIONS OF CORRECTIVE ACTIONS, PARTY COMPLETING MAINTENANCE ACTIVITIES, DATES & AMOUNTS OF RAINFALL EVENTS GREATER THAN 0.5". RAINFALL AMOUNTS ARE TO BE RECORDED WITH RAIN GAUGE ON SITE OR WEATHER STATION WITHIN 1 MILE OF SITE. ANY DISCHARGES OBSERVED SHOULD BE DESCRIBED & PHOTOGRAPHED.

RECORDS RETENTION

CONTRACTOR SHALL MAINTAIN RECORDS OF THE SEDIMENT RETENTION PROCEDURES ON-SITE. RECORDS WILL INCLUDE:

COPY OF THE SWPPP AND ALL REVISIONS

INSPECTION AND MAINTENANCE RECORDS

PERMANENT OPERATION AND MAINTAINANCE AGREEMENTS

CALCULATIONS FOR THE DESIGN OF TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS

COPIES OF THE SWPPP MUST BE RETAINED ON SITE BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE

SWPPP AMENDMENTS

AMENDMENTS MADE IN THE FIELD TO THE SWPPP SHOULD BE UPDATED ON THE SWPPP. REFER TO PROCEDURES OUTLINED IN SECTION 6.1 OF THE PERMIT.

POLLUTION PREVENTION MEASURES

SOLID WASTE: COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.

CONCRETE AND OTHER WASHOUTS: PERFORM ALL CONCRETE TRUCK WASHOUTS IN PROPER CONTAINMENT FACILITIES. SOLID AND LIQUID WASHOUT WASTE FROM OTHER MATERIALS (STUCCO, PAINT, FORM RELEASE OILS CURING COMPOUNDS ETC.) WILL BE DISPOSED OF IN A PROPERLY DESIGNATED LANDFILL.

PERFORM ALL WASHOUTS INCLUDING HANDTOOLS IN A LEAKPROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER THAT PREVENTS RUNOFF ONTO ADJACENT SOILS. DEBRIS/SEDIMENT WILL NOT CONTACT THE GROUND SURFACE.

A SIGN REQUIRING USE OF PROPER WASHOUT FACILITIES WILL BE INSTALLED ADJACENT TO SAID FACILITIES.

HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT TO PREVENT SPILLS, LEAKS, OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE THE MPCA REGULATIONS.

EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED OF AND WASTE PROPERLY DISPOSED OF. NO ENGINE DEGREASING IS ALLOWED ON SITE.

SWPPP IMPLEMENTATION CHAIN OF RESPONSIBILITY

THE GENERAL CONTRACTOR SHALL PROVIDE A TRAINED, CERTIFIED, KNOWLEDGEABLE PERSON WHO SHALL SERVE AS THE SITE'S EROSION CONTROL INSPECTOR. THIS PERSON SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BMP'S, AND SHALL MAINTAIN THE INSPECTION LOG AT THE PROJECT SITE.

EACH SUBCONTRACTOR ON-SITE WILL DESIGNATE AN EMPLOYEE AS ITS PROJECT SWPPP OFFICER. A LIST OF THESE OFFICERS WITH CONTACT INFORMATION WILL BE AVAILABLE ON-SITE. IT WILL BE SOLELY THE SWPPP OFFICERS' RESPONSIBILITY TO ENSURE THAT ALL ON-SITE ACTIVITIES PERFORMED BY ITS COMPANY COMPLY WITH THE SWPPP. THE GENERAL CONTRACTOR'S SWPPP INSPECTOR WILL HAVE AUTHORITY OVER ALL SUBCONTRACTOR'S SWPPP OFFICERS FOR WORK PERTAINING TO COMPLIANCE.

SHOULD A SWPPP OFFICER FAIL TO ENSURE COMPLIANCE, THAT OFFICER'S FOREMAN OR DIRECT SUPERVISOR WILL ASSUME ALL RESPONSIBILITY.

SHOULD A SUBCONTRACTOR FAIL TO COMPLY WITH THE SWPPP, THE GENERAL CONTRACTOR WILL ASSUME ALL RESPONSIBILITY FOR COMPLIANCE.

SHOULD THE GENERAL CONTRACTOR FAIL TO COMPLY WITH THE SWPPP, THE OWNER WILL ASSUME ALL RESPONSIBILITY FOR COMPLIANCE.

CHANGES IN PERMIT AND NOTICE OF TERMINATION

THE CONTRACTOR WILL BE A CO-PERMITTEE DURING THE CONSTRUCTION OF THE PROJECT. AFTER GRAVEL SURFACING OF THE PROJECT HAS BEEN COMPLETED, AND 70% PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED OVER THE PERVIOUS AREAS OF THE SITE, AND THE WARRANTY PERIOD HAS ELAPSED, THE CONTRACTOR MAY SUBMIT A MPCA (NOT)F ORM TO THE OWNER FOR SIGNATURE AND SUBMITTAL TO THE MPCA.

THE OWNER WILL SUBMIT THE NOTICE OF TERMINATION (NOT) AFTER ONE FINAL ESTABLISHMENT OF ALL PERVIOUS SURFACES ACCORDING TO THE MPCA GENERAL PERMIT REQUIREMENTS

NOTIFICATION OF THE MPCA IN CASE OF POLLUTION

IT IS THE DUTY OF THE CONTRACTOR TO NOTIFY THE MPCA IMMEDIATELY OF ANY DISCHARGE, ACCIDENTAL OR OTHERWISE, OF ANY SUBSTANCE OR MATERIAL UNDER HIS CONTROL WHICH, IF NOT RECOVERED, MAY CAUSE POLLUTION OF WATERS OF THE STATE, AND THE CONTRACTOR SHALL RECOVER AS RAPIDLY AND THOROUGHLY AS POSSIBLE SUCH SUBSTANCE OR MATERIAL AND TAKE IMMEDIATELY SUCH OTHER ACTION AS MAY BE REASONABLY POSSIBLE TO MINIMIZE OR ABATE POLLUTION OF WATERS OF THE STATE CAUSED THEREBY.

SEDIMENT LEAVING THE CONSTRUCTION SITE AND ENTERING A PUBLIC WATER IS CAUSE FOR NOTIFICATION.

MPCA DUTY OFFICER: 800-422-0798

QUALIFIED SWPPP PERSONNEL INFORMATION

SWPPP DESIGNER: BRIAN J. JOHNSON, PE  
JONES HAUGH & SMITH, INC.  
515 SOUTH WASHINGTON AVE  
ALBERT LEA, MN 56007  
(507) 373-4876

SWPPP INSTALLER:

NAME: \_\_\_\_\_

FIRM: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\_\_\_\_\_

PHONE: \_\_\_\_\_

SWPPP INSPECTOR:

NAME: \_\_\_\_\_

FIRM: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\_\_\_\_\_

PHONE: \_\_\_\_\_

GRADING CONTRACTOR:

NAME: \_\_\_\_\_

FIRM: BCM CONTRACTING \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\_\_\_\_\_

PHONE: \_\_\_\_\_

OTHER LAND DISTURBING CONTRACTOR:

NAME: \_\_\_\_\_

FIRM: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\_\_\_\_\_

PHONE: \_\_\_\_\_

OTHER LAND DISTURBING CONTRACTOR:

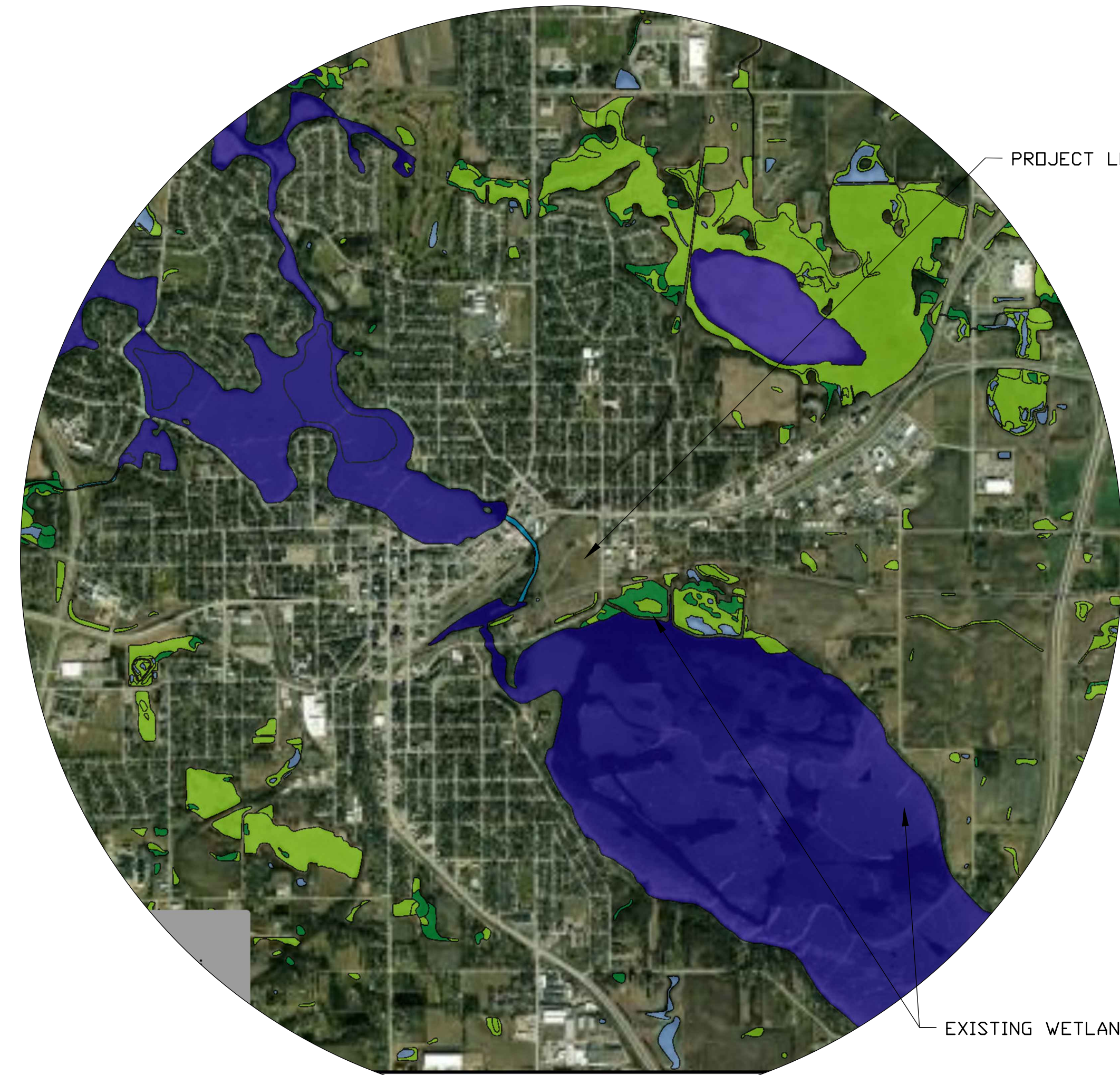
NAME: \_\_\_\_\_

FIRM: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\_\_\_\_\_

PHONE: \_\_\_\_\_



Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
	Udorthents, wet substratum	1.3	23.0%
	Udipsamments	4.5	77.0%
for Area of Interest		5.8	100.0%

SITE SOILS INDEX

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Brian J. Johnson  
Reg. No. 42744  
Date: 2/7/25



515 South Washington Ave. Albert Lea, MN 56007  
507-373-4876

Consultant:

Project:

Revision:

No: 25-058 Date: 4/10/2025

Drawn: bjg Checked:

Project Manager:

Project Status:

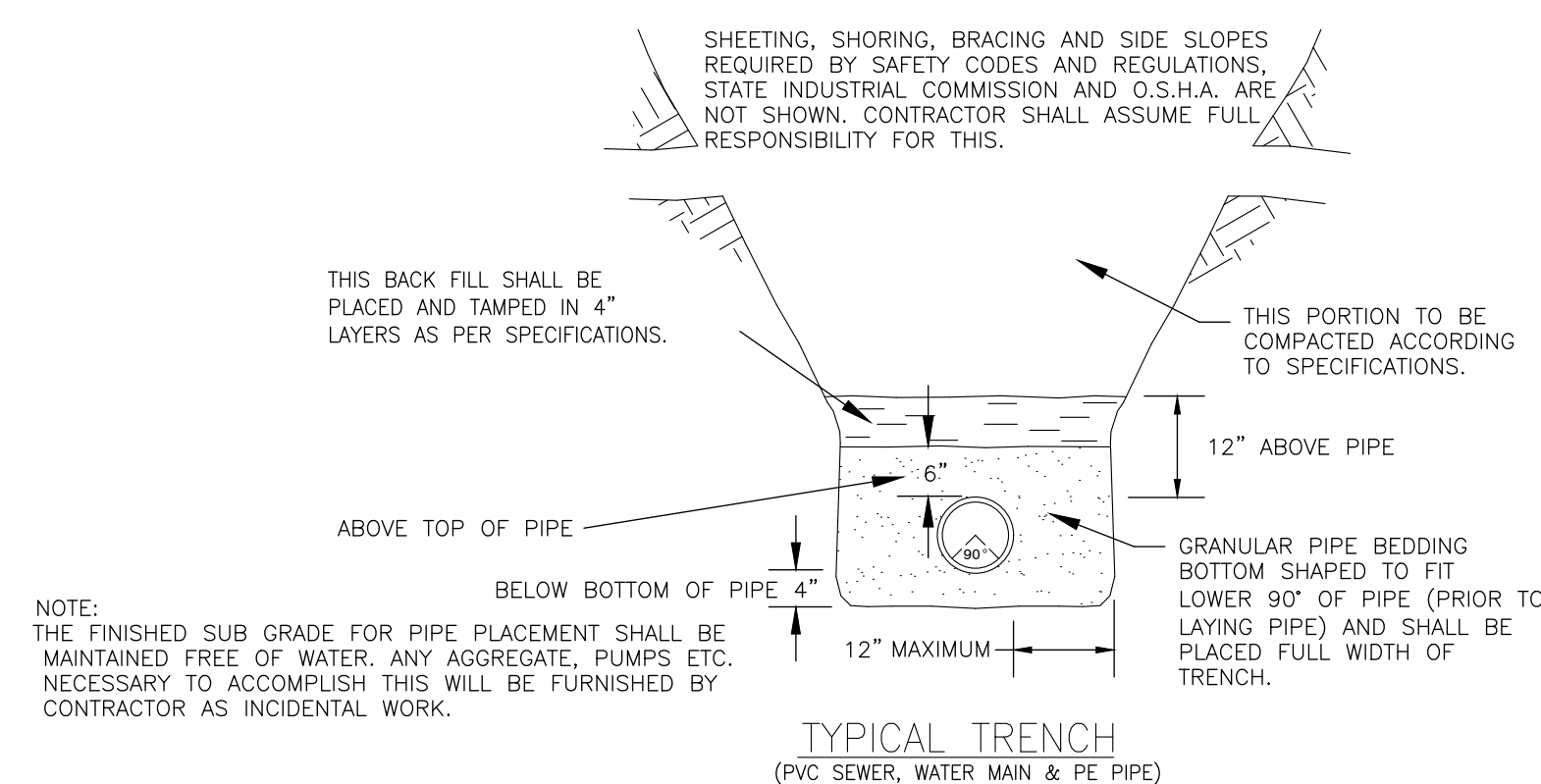
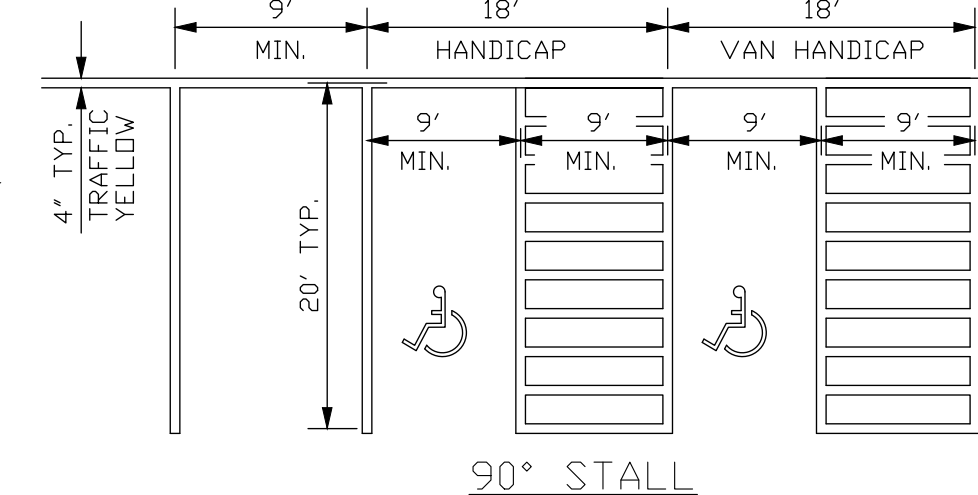
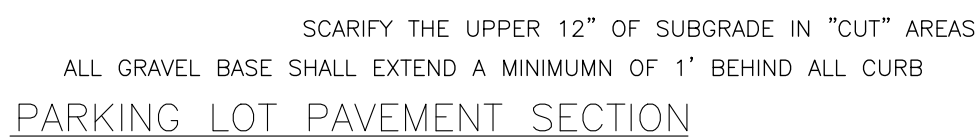
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SWPPP  
NARRATIVE &  
DETAILS

Sheet No.:

C6





**BID SET**

**TAPESTRY  
FAMILY  
APARTMENTS**

Project:

Revision:  
6/16/20

No.: 25-058	Date: 4/10/2025
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Date: 4/10/2025

Drawn: <b>bji</b>	Checked:
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Project Manager:

Sheet Title:

## DETAILS

Sheet No.:

**C7**

Consultant:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

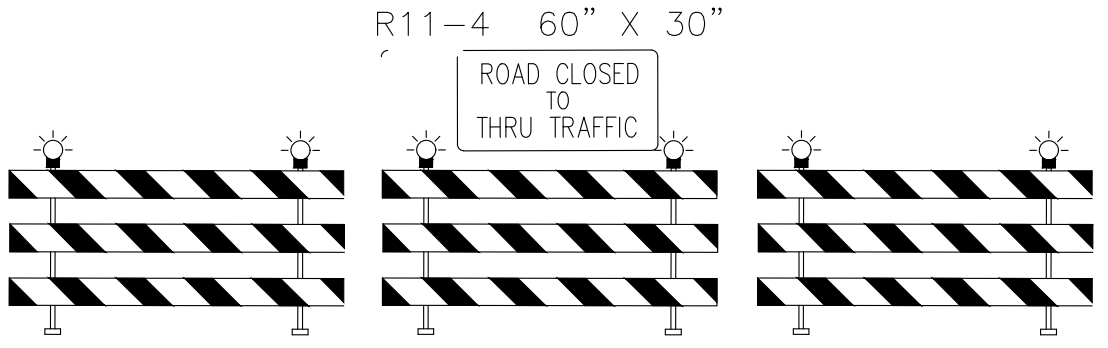
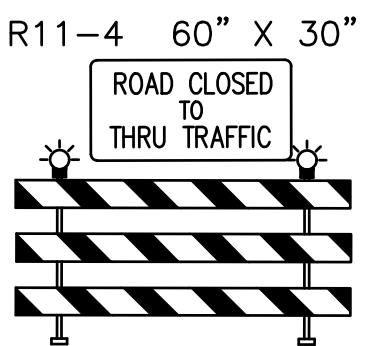
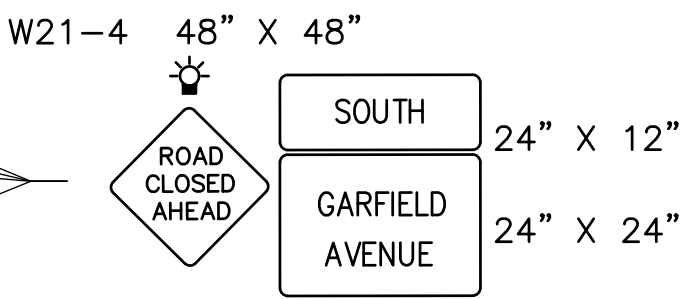
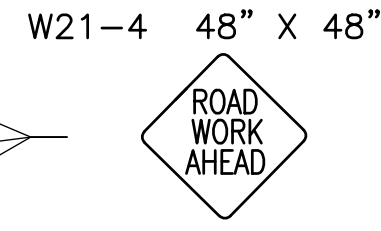
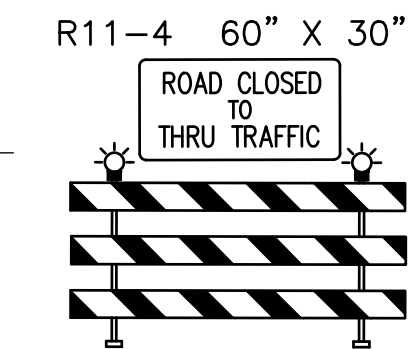
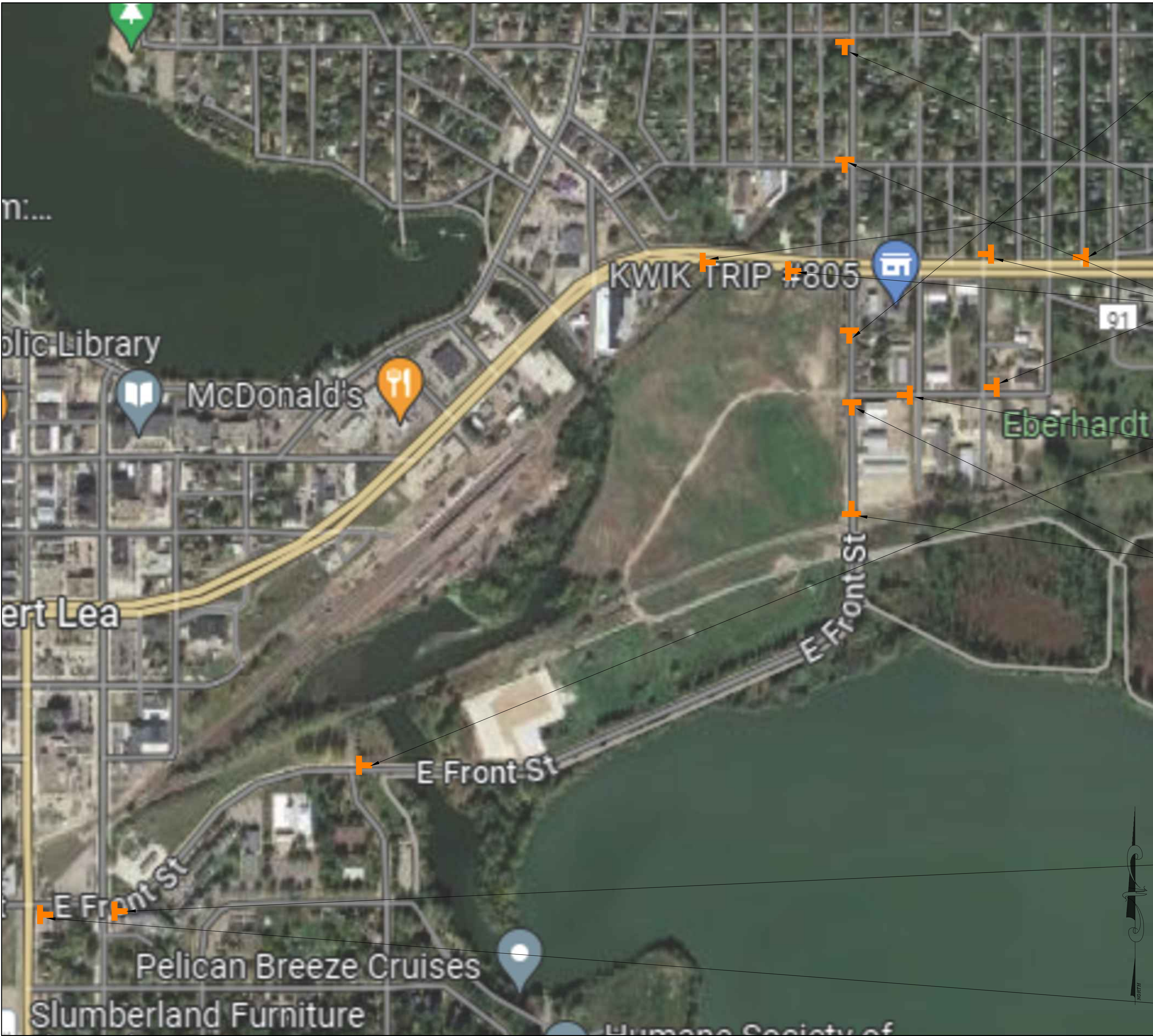


JONES  
HAUGH  
SMITH  
Engineers + Surveyors

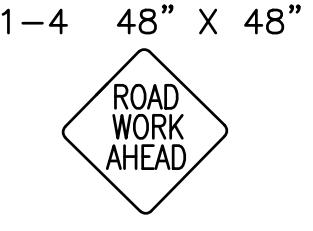
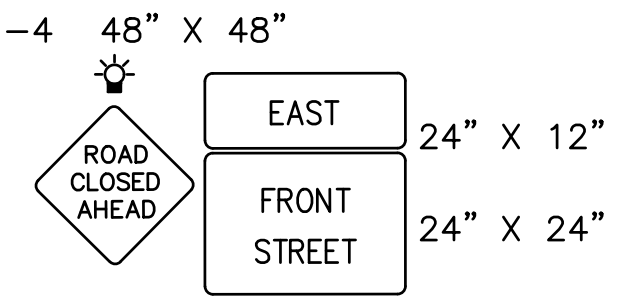
5115 South Washington Ave Albert Lea MN 507.373-4876

Date: 2/10/25





NOTE: MAINTAIN ACCESS TO HOMES & BUSINESSES ALONG GARFIELD AVE, FRONT STREET AND EBERHART STREET



**TAPESTRY  
FAMILY  
APARTMENTS**

Revision:

25-058	Date: 4/10/2025
Drawn: <b>bjj</b>	Checked:
Project Manager:	
Project Status:	

Sheet Title:  
**TRAFFIC  
CONTROL PLAN**

Sheet No.:  
**C8**



GOVERNING SPECIFICATIONS

The Minnesota Department of Transportation's "Standard Specifications for Construction" 2018 Edition, including the Mn/DOT Special Provisions modified for this project, Minnesota Plumbing Code and the City Engineers Association of Minnesota Standard Specification, 2018 Edition, will govern except as modified or altered in the Special Provisions. All references to "State of Minnesota" or "Commissioner of Transportation" or "Department" are hereby revised to mean "Owner."

WORK WITHIN PROPERTY

The Contractor will work only in areas secured by the Owner, and will comply with all requirements of access agreements.

MATERIALS TESTING

Materials Testing will be by the Contractor. The Contractor will hire an independent testing consultant, approved by the Engineer, prior to the start of work to be tested.

1. The following materials tests will be provided by the Testing Company:

Work to be Tested	Method	Reference Spec.	Testing Rate
Sewer & Water Service Trenches	Specified Density	MnDOT 2105, 2451, 2501	1 test per 500 lf
Storm Sewer Trench Compaction	Specified Density	MnDOT 2105, 2451, 2501	1 test per 500 lf
Subgrade/Embankment Compaction	Specified Density	MnDOT 2105	1 test per 2500 cy placed (Clay, Sand, etc.)
Test Rolling	Fully Loaded Dump Truck		1 test per road
Select Granular Borrow	Specified Density	MnDOT 3149	1 per 5000 ton
	Gradation	MnDOT 3149	1 per Source
Aggregate Base (CL 3, CL 5)	Modified DCP	MnDOT 2211	2 tests per 1000 ton
	Gradation	MnDOT 2211	1 per 5000 ton
Bituminous Paving	Ordinary Comp.-Control Strip	MnDOT 2360	1 control strip per mobilization and/or per workday
Concrete Curb & Gutter	Air, Slump, Temp, Strength	MnDOT 2461	If non-integrant
Air, Temp, - 1 per day			
Slump, Strength - 1 per day; and each time water is added at the site			
Concrete Driveway or Sidewalk	Air, Slump, Temp, Strength	MnDOT 2461	
Air, Temp, - 1 per day			
Slump, Strength - 1 per day; and each time water is added at the site			
Concrete Paving		MnDOT 2301	
All Concrete Field testing or Concrete Pavement per 2012 MnDOT Schedule of Materials Control (page 32), except Pavement Texture and Smoothness.			

Table Notes:

- Specified Density also requires Moisture-Density and Relative Density
- The Engineer may omit duplicative trench compaction tests at his discretion

MAINTENANCE OF TRAFFIC (1404)

The Contractor will be responsible for traffic control on the Project, and will furnish, erect, and maintain all necessary traffic control devices required to provide safe movement of vehicular traffic through the Project. Any traffic control device installed will meet the requirements of the Minnesota Manual on Uniform Traffic Control Devices, Field Manual, latest edition, and the latest MnDOT specifications approved at the time of bid.

The Contractor will prepare and submit to the City Engineer and County Engineer for Approval a Traffic Control Plan for any work in or utilization of traveled Right-of-Way. The plan will be submitted a minimum of 48 hours prior to the commencement of work. No work in the Right-of-Way will commence without an Approved Traffic Control Plan.

Traffic control will be in accordance with the Traffic Control Layout Plan and the following:

Traffic control devices include, but are not limited to, barricades, warning signs, lane markings, trailers, flashers, cones, and drums, as required, and sufficient barricade weights to maintain barricade stability.  
No material will be deposited on a traveled roadway.  
Materials will not be placed on road right of way more than one week in advance of their use.  
Contractor will notify the affected parties at least one week prior to commencement of disturbance of the private or business drives.  
Coordination will be maintained with the Fire and Police Departments to ensure that passage is maintained for emergency vehicles at all times.  
The Contractor will make one person responsible for the maintenance of all signs. The Contractor will check each intersection at the end of each day whether it is a working day or not. The name and telephone number of this person will be left with the Police, the City Engineer, and the Fire Departments.

UTILITY PROPERTY AND SERVICE (1507)

Construction operations in the proximity of utility properties will be performed in accordance with the Provisions of 1507, except as modified below:

The first paragraph of 1507 is deleted and the following substituted therefore:

It will be the Contractor's responsibility to contact all local utility companies and ascertain the location of all existing underground utilities, if any, prior to performing any excavation operations. The Contractor will conduct his/her operations in the vicinity of any such facilities, which may exist, in a manner that will prevent damage thereto.

It will be the Contractor's responsibility to utilize the One-Call Excavation Notice System at 'Gopher State One Call' (1-800-252-1166) required under Minnesota Statute Chapter 216D, 48 hours prior to performing any excavation adjacent to any underground facility, which may exist, in a manner that will prevent damage thereto.

CONSTRUCTION STAKES, LINES AND GRADES (1508)

All construction staking will be provided by the Contractor and performed by or under the direct supervision of a Land Surveyor licensed in the State of Minnesota.

Field Fit Adjustments to Grade Stakes

The Engineer may make minor adjustments (< 0.5") to the grade stakes after they have been placed, in order to adjust to actual conditions in the field or to ensure proper or better drainage. Any adjustments to proposed or in-place materials required due to minor adjustments made by the Engineer are incidental to the work.

CONTROL OF HAUL ROADS (1515), LAWS TO BE OBSERVED (1701)

In addition to the requirements of 1515 and 1701, the Contractor will abide by all weight restrictions implemented by the governing road authorities in the performance of the work and in delivering materials and equipment to the project site.

AIR LAND AND WATER POLLUTION (1717)

The provisions of Mn/DOT 1717 are hereby modified and supplemented as follows:

DEWATERING

Any dewatering necessary to construct the work will be done by the Contractor. The Contractor is responsible to determine the type and method of dewatering and to provide and implement all equipment and materials necessary to accomplish the work on this project. Discharged water from dewatering will be routed through a temporary sediment basin. Sediment trapped in the temporary basins will be removed and disposed of on-site.

PROTECTION OF SURFACE STRUCTURES

The Contractor will not trespass on any private property without the express written consent of the Owner thereof. Trees, shrubs, fences, poles and all other private property will be protected unless their removal is authorized. Any property damaged will be satisfactorily restored at the expense of the Contractor. Any land survey or property monuments destroyed, covered, moved, bent or disturbed will be replaced by a Licensed Land Surveyor at the expense of the Contractor.

Wherever construction is planned to cross private property, an easement for the construction has been acquired from the property owner. The Contractor will familiarize himself with the terms of such easements, which the Owner will have on file.

Ground surface, trees, shrubbery, fences and other private property will be restored to the same condition as existed prior to the beginning of construction. This will include consolidating backfill, graveling driveways and any other leveling and landscaping required to restore the premises to original condition. The topsoil will be piled separately from subsoil material and will be replaced in the trench above the subsoil material.

Except where sodding is required, all grassed areas disturbed during the construction will be seeded following landscaping.

The Contractor will restore at his own expense streets, roads, alleys, private or public structures such as water mains, water connections and appurtenances, culverts, drain tiles, sewers, manholes, catch basins, sewer connections, curb, gutter, sidewalk, street signs, or other structures designated to remain in place which are damaged or injured in any way by his acts, and will be responsible for all damages to other utilities he may encounter.

The Contractor will not claim, or be entitled to receive, compensation for any damages sustained by reason of the inaccuracy or omission of any of the information given on the drawings relative to surface, overhead, or underground structures, or by reason of his failure to properly protect such structures.

PROTECTION OF SIDE STREETS AND HAUL ROUTES

The Contractor will be responsible for any damage of the side streets in the area and any other streets that are used as haul routes. The Contractor will discuss all haul route possibilities with the City Engineer and County Engineer prior to their use. The City Engineer, County Engineer, and the Contractor together will inspect the condition of the proposed routes before, during and after their use. The Contractor will correct any damage that is caused by the hauling activities at no cost to the Owner.

DEWATERING

Any dewatering necessary to construct the work will be done by the Contractor. The Contractor is responsible to determine the type and method of dewatering and to provide and implement all equipment and materials necessary to accomplish the work on this project. Discharged water from dewatering will be routed through a temporary sediment basin. Sediment trapped in the temporary basins will be removed and disposed of on-site.

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Wherever construction is planned to cross private property, an easement for the construction has been acquired from the property owner. The Contractor will familiarize himself with the terms of such easements, which the Owner will have on file.

Ground surface, trees, shrubbery, fences and other private property will be restored to the same condition as existed prior to the beginning of construction. This will include consolidating backfill, graveling driveways and any other leveling and landscaping required to restore the premises to original condition. The topsoil will be piled separately from subsoil material and will be replaced in the trench above the subsoil material.

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The Contractor will restore at his own expense streets, roads, alleys, private or public structures such as water mains, water connections and appurtenances, culverts, drain tiles, sewers, manholes, catch basins, sewer connections, curb, gutter, sidewalk, street signs, or other structures designated to remain in place which are damaged or injured in any way by his acts, and will be responsible for all damages to other utilities he may encounter.

The Contractor will not claim, or be entitled to receive, compensation for any damages sustained by reason of the inaccuracy or omission of any of the information given on the drawings relative to surface, overhead, or underground structures, or by reason of his failure to properly protect such structures.

PROTECTION OF SIDE STREETS AND HAUL ROUTES

The Contractor will be responsible for any damage of the side streets in the area and any other streets that are used as haul routes. The Contractor will discuss all haul route possibilities with the City Engineer and County Engineer prior to their use. The City Engineer, County Engineer, and the Contractor together will inspect the condition of the proposed routes before, during and after their use. The Contractor will correct any damage that is caused by the hauling activities at no cost to the Owner.

INTERFERENCE OF UNDERGROUND STRUCTURES

Existing utilities crossed by the new construction will be protected against damage, and/or replaced to original grade. Protection, temporary support and maintenance of existing utilities will be furnished by the Contractor at his own expense. The final installation will provide permanent support to prevent any settlement or movement, which may result in damage to these utilities.

Whenever existing pipe is replaced, the material of replacement will be DIP or PVC pipe of the same diameter as the original, long enough to extend at least one foot into the solid bank on either side of the excavation. The backfill under and around such pipe will be thoroughly compacted by mechanical means to preclude settlement. All connections between different types or sizes of pipe or improperly matched joint types will be encased in concrete with a minimum thickness of 6 inches.

Should it become necessary during the progress of the work to remove or relocate existing utilities or structures, the Owner will cause the same to be done at no expense to the Contractor, except as otherwise provided herein. The Contractor will notify those who maintain utilities sufficiently in advance of construction so they may make the necessary location, disclosure, relocation or other preparation. Where necessary to locate existing underground utilities, the Contractor, upon order of the Engineer, will make any required subsurface explorations and excavation, and will be allowed compensation therefore. Where relocation or reconstruction of existing utilities is impracticable, a change in line and/or grade of the new construction will be ordered, and the change will be made as directed. No deviation from the line or grade set by the Engineer will be made without his approval.

CONNECT TO EXISTING SANITARY SEWER

The Contractor will connect to the existing sanitary sewer at the locations shown on the plan. Exploratory excavation for determining the location of existing utilities and the connection to the existing sanitary sewer are incidental to the work. The Contractor will verify the connection elevation at the main is reasonably close to the elevation shown on the plan prior to beginning work. If the elevation is substantially different, the Contractor will notify the Owner and Engineer.

Where new connections are made to existing sanitary sewer manholes, the contractor will core drill the manhole wall and invert to the existing flow line, construct and shape a new invert for the new pipe, and provide a waterproof boot through the wall of the manhole for the new pipe.

SANITARY SEWER CONSTRUCTION REQUIREMENTS

- Noise -- The Contractor will insure all equipment is properly fitted with mufflers to reduce noise to the minimum attainable to avoid creating a nuisance in the residential and business area.
- Trench Compaction -- All trenches will be tamped using the existing material that has been excavated. Tamping will not be paid as a bid item, therefore the cost of this work will be included in the price bid for furnishing and installing the pipe.
- Piling Excavated Materials -- Excavated material will not be piled on private property without the express permission of the owner thereof, except where easements for the sewer construction or for related work have been obtained; nor will it be piled in any location that will require backfilling machinery to operate on private property. Where excavated material is piled on private property it will be placed to cause the least possible inconvenience to the property owner. Any damage caused thereby, including damage to buildings, walls, sidewalks, driveways, trees, shrubs, lawns, or any other property, will be repaired at the expense of the Contractor. Backcasting in order to minimize disturbance is incidental to the work.
- It will be the Contractor's responsibility to protect adjacent pipes in and around manholes to be reconstructed, and will replace any pipes damaged, cracked, or broken by the Contractor at their expense.
- All excavations, trenching and/or jacking and boring pits will be sheeted and/or shored as per OSHA requirements. No unsheeted trench will be left open overnight.
- Backfilling of all trenches within the limits of street excavation will comply with the provisions of MN/DOT Specification 2112 including achieving 100% compacted density in the upper three feet of subgrade (below aggregate base) and 95% below the upper three feet. Density testing will be performed as directed by the Owner to verify compaction. Trench areas that are determined by the Owner to have yielded due to improper compaction will be deemed as Unacceptable Work and will be corrected by the contractor at no additional cost.
- Removal of former service lines. -- Service lines no longer being utilized will be removed to the main, as directed by the City. Removal and restoration of street surfacing required for the service removal is incidental.
- RECORDS OF LATERALS: The Contractor will maintain a complete and accurate record of the location and depth of each lateral. The Contractor will make measurements from the end of each service to prominent permanent features to facilitate its location in the future. The end of each lateral will be located in plan and elevation, and a sketch made to show the plan location. These records will be turned over to the Owner.

MATERIALS FOR SANITARY SEWER CONSTRUCTION:

The project calls for the use of Poly-Vinyl Chloride (PVC). Pipe and fittings should be properly bedded and encased in accordance with the Standard Detail Sheets and Standard Specifications for Sanitary Sewer Installation. All 6" and larger sanitary sewer shall be SDR 35, pipe smaller than 6" shall be SDR 26 Bedding and encasement beneath, along the sides, and above the pipe will be Select Granular material, tamped in place. The only deviation will be in poor soil conditions, as approved by the Engineer, where foundation rock will be substituted. Pipe bedding is incidental to pipe installation. Foundation rock is incidental to pipe installation.  
Joints for PVC-SDR 35, and PVC-SDR 26 gravity sewer pipe will be made using Elastomeric gaskets conforming to the requirements of ASTM D3212. Joints in precast concrete manholes will be made using a joint compound equal to Ram-Nek or rubber gasketed conforming to ASTM C443. All manhole castings will be equipped with solid lid covers, self-sealing, with concealed pick holes. Manhole casting will be Neenah R1772, or equal and will be labeled 'SANITARY' on casting.

CONNECT TO EXISTING WATERMAIN

The Contractor will connect to existing watermain at the locations shown on the plan. All connections to existing water main are incidental to the work. All exploratory excavation in determining the location of existing water main is incidental to the work. The Contractor will coordinate with the utility owner and be responsible for any fees due for connections.

WATERMAIN CONSTRUCTION REQUIREMENTS

- Noise -- The Contractor will insure all equipment is properly fitted with mufflers to reduce noise to the minimum attainable to avoid creating a nuisance in the residential and business area.
- Bedding and encasement beneath, along the sides, and above the pipe will be Select Granular material, tamped in place. The only deviation will be in poor soil conditions, as approved by the Engineer, where foundation rock will be substituted. Pipe bedding is incidental to pipe installation. Foundation rock will be paid at the unit price per ton. No payment will be made for bedding materials which, in the opinion of the Engineer, was unnecessary for proper pipe installation.
- Trench Compaction -- All trenches will be tamped using the existing material that has been excavated. Tamping will not be paid as a bid item, therefore the cost of this work will be included in the price bid for furnishing and installing the pipe.
- Piling Excavated Materials -- Excavated material will not be piled on private property without the express permission of the owner thereof, except where easements for the sewer construction or for related work have been obtained; nor will it be piled in any location that will require backfilling machinery to operate on private property. Where excavated material is piled on private property it will be placed to cause the least possible inconvenience to the property owner. Any damage caused thereby, including damage to buildings, walls, sidewalks, driveways, trees, shrubs, lawns, or any other property, will be repaired at the expense of the Contractor.
- It will be the Contractor's responsibility to protect adjacent pipes in and around manholes to be reconstructed, and will replace any pipes damaged, cracked, or broken by the Contractor at their expense.
- All excavations, trenching and/or jacking and boring pits will be sheeted and/or shored as per OSHA requirements. No unsheeted trench will be left open overnight.
- Backfilling of all trenches within the limits of street excavation will comply with the provisions of MN/DOT Specification 2112 including achieving 100% compacted density in the upper three feet of subgrade (below aggregate base) and 95% below the upper three feet. Density testing will be performed as directed by the Engineer to verify compaction. Trench areas that are determined by the Engineer to have yielded due to improper compaction will be deemed as Unacceptable Work and will be corrected by the contractor at no additional cost.
- The Contractor will coordinate the construction of all private and municipal utilities.
- The Contractor will be responsible for all tapping or other fees paid to public or private utilities as work incidental to the contract.
- RECORDS OF LATERALS: The Contractor will maintain a complete and accurate record of the location and depth of each water lateral. The Contractor will make measurements from the end of each service to prominent features to facilitate its location in the future. The end of each lateral will be located in plan and elevation, and a sketch made to show the plan location. These records will be turned over to the Owner.

MATERIALS FOR WATERMAIN CONSTRUCTION- Austin Utilities standards shall govern over all material specs listed below if discrepancies exist.

- Watermain shall be PVC SDR 18 meeting the requirements of AWWA C-900. Pipe and fittings should be properly bedded and encased in accordance with manufacturer's requirements. Foundation rock will be used in poor soil conditions.
- Bedding and encasement for pipe, beneath, along the sides, and above the pipe will be Select Granular material, tamped in place. The only deviation will be in poor soil conditions, as approved by the Engineer, where foundation rock will be substituted. Pipe bedding is incidental to pipe installation. All joints between pipe, fittings, valves, and hydrants will be equipped to provide electrical conductivity.
- Gaskets will be mechanical joint rubber gaskets, unless otherwise specified.
- Hydrants shall be Watorous Pacer WB-67-250 with 6" mechanical joint inlet and valve boxes as manufactured by American Flow Control Series 2500 or US Metro Pipe Seal with the Top marked WATER.
- The furnishing and installing of disinfection materials to disinfect the watermains will be the responsibility of the Contractor. The City Utilities Department will assist the Contractor in flushing and testing the watermains.
- The Contractor will use restrained joint mechanical joint flanges with mega lug retainer glands or equal on all hydrants, watermain offsets, bends, or other mechanical fittings. STAINLESS STEEL BOLTS will be required on all mechanical joints and sleeves.
- All exposed parts of the bolts and nuts will be completely coated with an approved asphaltic type rust preventive material. Any parts of the fittings that have been scraped will also be coated with an approved asphaltic type rust preventive material. Watermain fittings will conform to ANSI Standard A21.10. All watermain fittings, hydrants and retaining rods will be protected by using sacrificial zinc anode caps such as 175P190 Protecto Caps as manufactured by Ebba Iron or an approved equal. Two caps per mechanical joint will be used.

TESTING OF WATER MAIN

Hydrostatic pressure testing of water main and services will be conducted as follows:

After the pipe has been laid, including fittings and valves and blocking, all newly laid pipe or any valved section thereof, unless directed otherwise by the Engineer, will be subject to hydrostatic pressure of 150 pounds per square inch. The duration of each such test will be at least two hours.

Each section of pipe to be tested will be filled with water and all air expelled at the highest point. The required taps to expel air or to fill the water main will be supplied and installed by the Contractor and will be 3/4 inch and will include an approved service saddle when required.

The test apparatus will be applied at the lowest elevation on the section to be tested. The apparatus will be connected to the main at a service tap or special tap location.

The pressure gauge will be a standard pressure gauge. The dial will register from 0 - 200 psi and have a dial size of 4 1/2 inches with 1-psi increments.

The hydrostatic test, pressure requirement for an acceptable test will be a maximum pressure drop of 2 psi during the last hour of the two-hour pressure test. If this test requirement cannot be met, the Contractor will investigate the cause, make corrections, and retest until the pressure drop requirement can be met.

Only if several consecutive tests indicate a consistent pressure drop and only after the Contractor has made numerous attempts to resolve the problem, acceptable to the Engineer, may the Contractor request in writing and the Engineer consider the use of the leakage test. The leakage test may be performed by the Contractor to determine the magnitude of the leak, however, meeting the leakage allowance will not automatically be considered acceptance, in lieu of the pressure test, for the section being tested. Final acceptance will be at the discretion of the Engineer.

When allowed, the leakage test will be performed in accordance with AWWA C-600, Section 4.1.5, 4.1.6 and the line will be accepted as per Section 4.1.7.

Operational Testing will be conducted as follows:

At the completion of the project and in the presence of the Engineer and the Contractor, representatives of the Owner will operate all valves, hydrants, and water services to ascertain that the entire facility is in good working order; that all valve boxes are centered and valves are opened; that all hydrants operate and drain properly; that all curb boxes are plumb and centered; and that water is available at all curb stops.

Disinfection Testing:

Before being placed in service, the completed water main will be disinfected. Disinfection materials and procedures, and the collection and testing of water samples, will be in accordance with the provisions of AWWA C-651. After the final flushing the water will be tested for bacteriologic quality and found to meet the standards prescribed by the Minnesota Department of Health.

Samples will be taken and tested after 24 and 48 hours of disinfection. Both tests must be returned with passing results prior to approval for service.

Where an existing water main is cut for the installation of any fitting, the pipe and fittings proposed to be installed will be disinfected prior to installation as follows:

The interior of the pipe and fittings will be cleaned of all dirt and foreign material.

The interior of the pipe and fittings will be thoroughly swabbed or sprayed with a 1 percent minimum hypochlorite solution.

Unless otherwise indicated in the Plans, Specifications, and Special Provisions, the Contractor will furnish all materials and perform the disinfecting, flushing, and testing as necessary for meeting the water quality requirements.

The flushing operations and the form of chlorine and method of application to be used will be subject to approval by the Engineer.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Eric J. Johnson  
Reg. No. 62744  
Date: 2/10/25

JONES  
HAUGH  
SMITH  
Engineers - Surveyors  
515 South Washington Ave. Albert Lea, MN 56007-373-4976

Consultant:

Project:

Revision:

No: 25-058 Date: 4/10/2025

Drawn: bj Checked:

Project Manager:

Project Status:

Sheet Title:

SPECIFICATIONS

Sheet No.:

C9

BID SET

TAPESTRY  
FAMILY  
APARTMENTS









Community Development  
221 East Clark Street  
Albert Lea, Minnesota 56007-2496  
507-377-4349

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TO: Planning Commission Members  
FROM: Megan Boeck, City Planner  
DATE: August 27, 2025  
RE: Re-Plat – Blazing Star No. 3

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Attached is a re-plat of Lot 1, Block 1 of Blazing Star No. 2 which was signed and recorded by the County Recorder and the Registrar of Titles on February 10, 2025.

Since that time, an error or discrepancy was determined within the plat. A portion of Lot 1, Block 1 is recorded as Torrens versus Abstract and cannot be platted continuous of the remaining lots and blocks.

Attached is a re-plat of Block 1, Lot 1 which is Blazing Star No. 3 and/or a separate plat from the other parcels not containing Torrens property.

The City Attorney has reviewed the re-plat and recommends approval of Blazing Star No. 3.

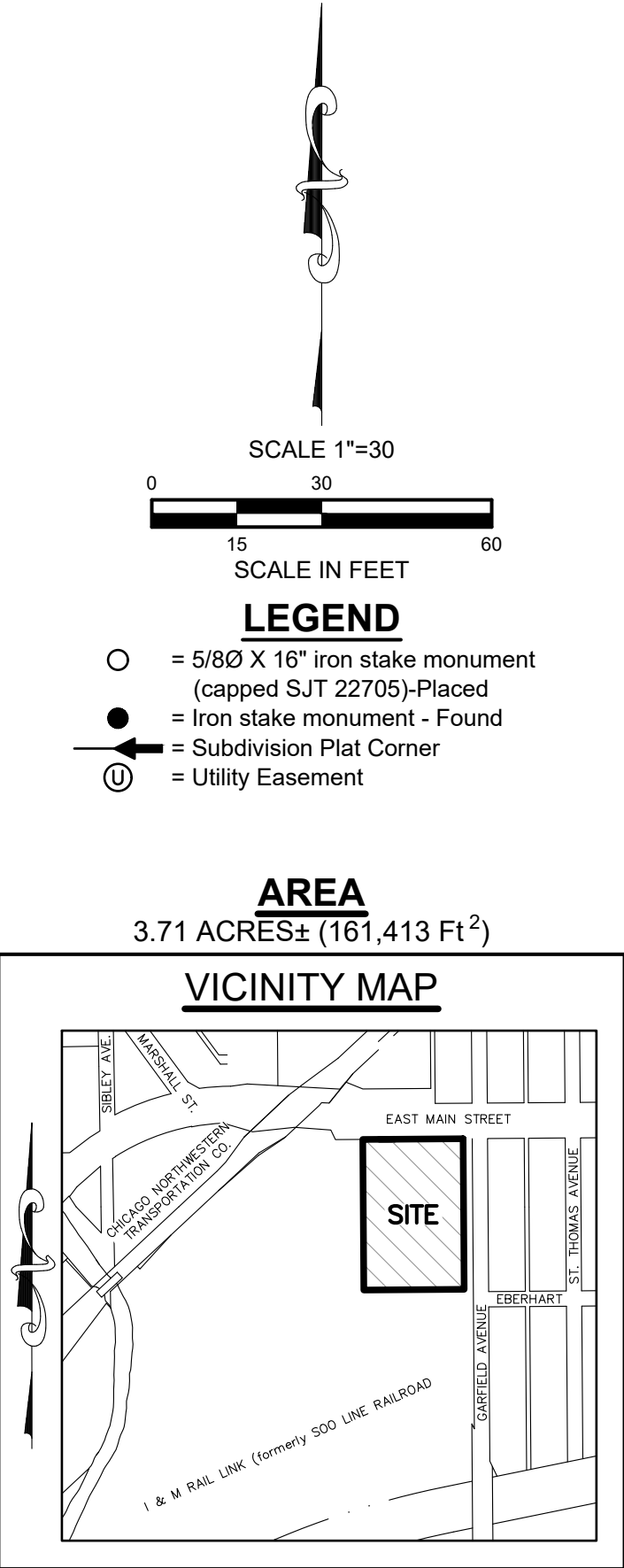
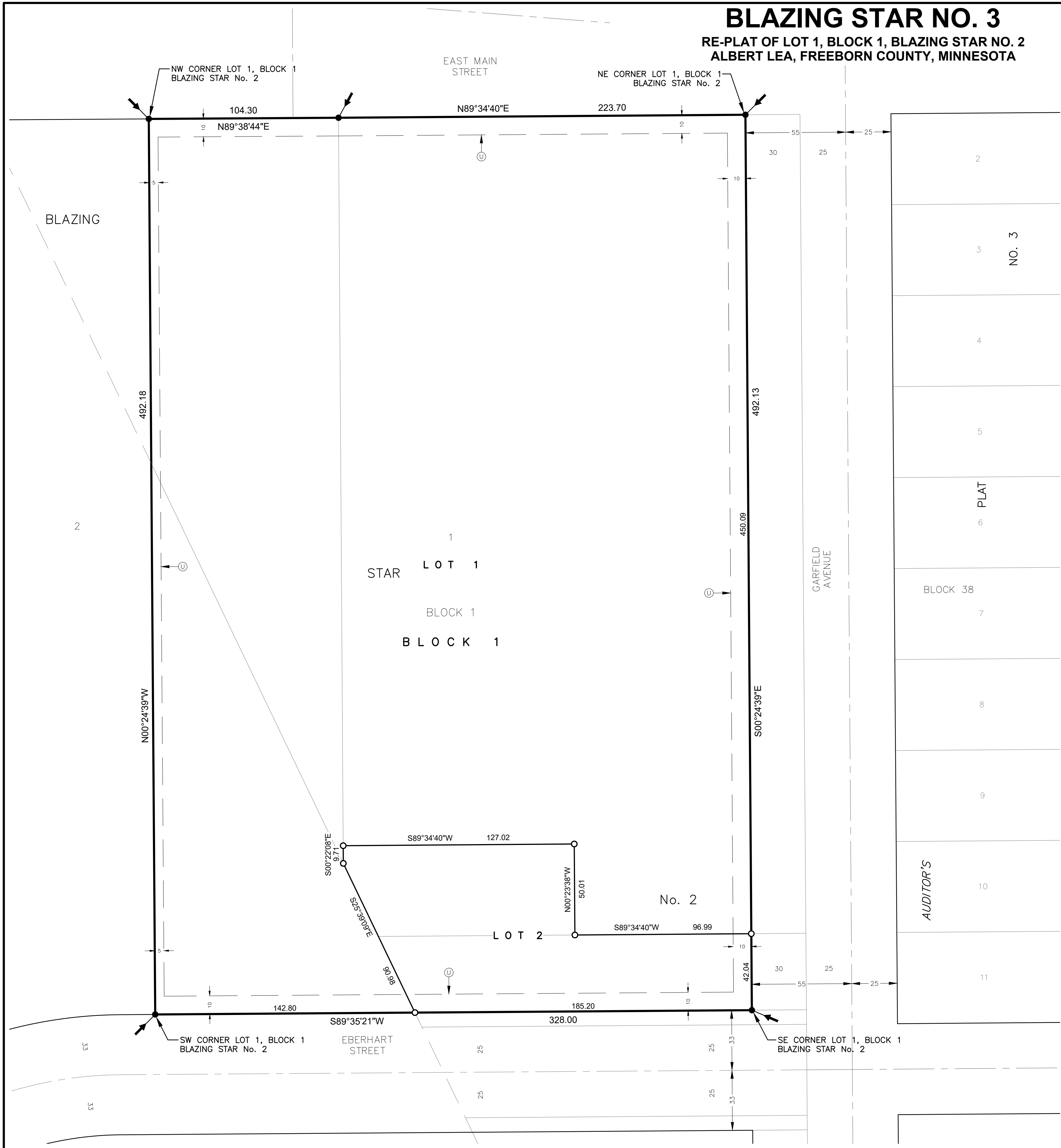
Respectfully submitted,

Megan Boeck, City Planner

OFFICIAL PLAT

BLAZING STAR NO. 3

RE-PLAT OF LOT 1, BLOCK 1, BLAZING STAR NO. 2  
ALBERT LEA, FREEBORN COUNTY, MINNESOTA



CERTIFICATE OF DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS: That The City of Albert Lea, a Minnesota Municipal Corporation; owner and proprietor of the following described property situated in the City of Albert Lea, County of Freeborn, State of Minnesota, to-wit:

Lot 1, Block 1, Blazing Star No. 2, as the same is platted and recorded in the office of the County Recorder of Freeborn County, Minnesota.

Having caused the above described premises to be surveyed and platted as shown hereon, to be known as **BLAZING STAR NO. 3**, do by these presents dedicate to the public for public use forever and for the use of the public utilities, the utility easements appearing hereon, for the installation and maintenance of facilities installed in and over said easements to serve adjacent or other premises in the vicinity.

Witness my hand this \_\_\_\_ day of \_\_\_\_, **2025**.

Rich Murray, Mayor

STATE OF MINNESOTA  
COUNTY OF FREEBORN

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_, **2025** by Rich Murray, Mayor of The City of Albert Lea, a Minnesota Municipal Corporation, on behalf of the Corporation.

Notary Public  
My Commission Expires \_\_\_\_

SURVEYOR'S CERTIFICATE

I, Steven J. Thompson, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designed on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wetlands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated \_\_\_\_ day of \_\_\_\_, **2025**.

Steven J. Thompson, Licensed Land Surveyor  
Minnesota Licensed No. 22705

STATE OF MINNESOTA  
COUNTY OF FREEBORN  
This instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_, **2025** by Steven J. Thompson..

Notary Public, \_\_\_\_  
My Commission Expires \_\_\_\_

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_ day of \_\_\_\_, **2025**.

Deputy Freeborn County Surveyor

COUNTY AUDITOR & TREASURER CERTIFICATE

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year **2025** on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_ day of \_\_\_\_, **2025**.

County Auditor & Treasurer, Freeborn County, MN

COUNTY RECORDER'S CERTIFICATE

I hereby certify that this plat of **BLAZING STAR NO. 3** was filed in the office of the County Recorder for public record on this \_\_\_\_ day of \_\_\_\_, **2025**, at \_\_\_\_ o'clock \_\_\_\_ M., and was duly filed in Book \_\_\_\_ of Plats, Page \_\_\_\_, as Document Number \_\_\_\_.

County Recorder, Freeborn County, Minnesota

By: \_\_\_\_  
Deputy

REGISTRAR OF TITLES

I hereby certify that this plat of **BLAZING STAR NO. 3** was filed in the office of the County Recorder for public record on this \_\_\_\_ day of \_\_\_\_, **2025**, at \_\_\_\_ o'clock \_\_\_\_ M., and was duly filed in Book \_\_\_\_ of Plats, Page \_\_\_\_, as Document Number \_\_\_\_.

Registrar of Titles

By: \_\_\_\_  
Deputy

**JONES, HAUGH & SMITH INC.**  
CONSULTING ENGINEERS & LAND SURVEYORS 515  
SOUTH WASHINGTON AVENUE ALBERT LEA,  
MINNESOTA 56007  
AUGUST 2025  
DRAWN BY ANDY MCGOWAN  
25-238FP.dwg